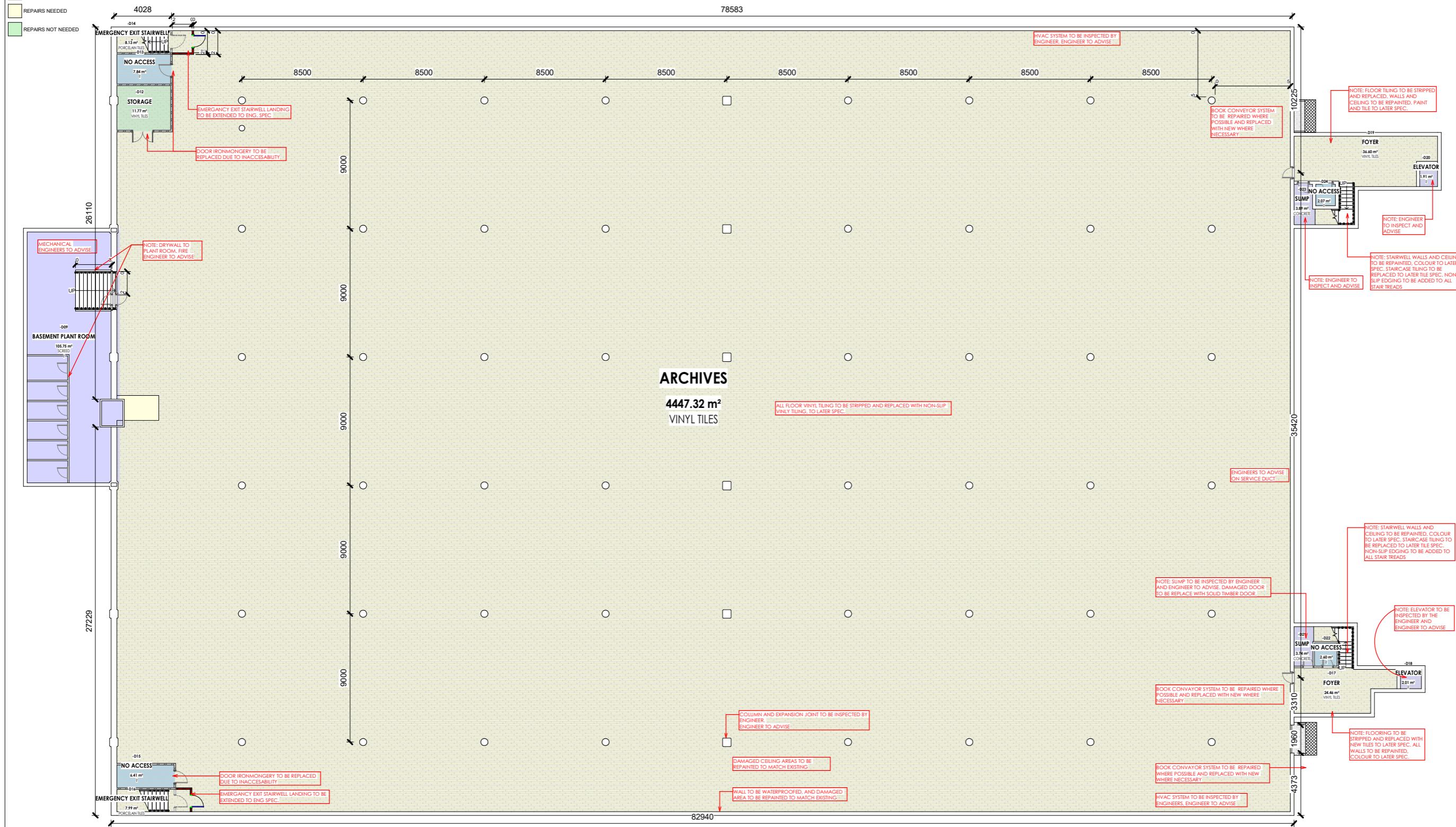


ROOM REQUIREMENTS LEGEND

- CLIENT TO ADVISE
- ENGINEER TO ADVISE
- REPAIRS NEEDED
- REPAIRS NOT NEEDED



- GENERAL NOTES:**
- ALL WORK TO COMPLY WITH THE NATIONAL BUILDING REGULATION & BUILDING STANDARDS ACT 93 OF 1977, LOCAL COUNCIL REQUIREMENTS & ALL RELEVANT SPECIFICATIONS AND CODES.
 - FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING. OVERALL DIMENSIONS (EXTERNAL) TO TAKE PRECEDENCE.
 - ALL DIMENSIONS, LEVELS AND HEIGHTS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT BEFORE ANY WORK TAKES PLACE.
 - FINISHED FLOOR LEVELS TO BE A MINIMUM OF 150mm ABOVE NATURAL GROUND LEVEL UNLESS OTHERWISE SHOWN. FIREWALLS TO UNDERLIE OF FLOOR COVERING.
 - ALL DOORS TO THE EXTERIOR THAT OPEN OUTWARD ARE TO HAVE A 100mm STEP UP ALONG THE LONGITUDINAL CENTRE LINE OF THE DOOR LEAF. A BRASS OR ALUMINIUM STRIP IS TO BE INSTALLED TO THE THRESHOLD. ALL REINFORCED CONCRETE TO BE TO STRUCTURAL ENGINEERS CERTIFICATE & DETAIL TO BE SUBMITTED.
 - VERTICAL TANKING TO ALL LEVEL CHANGES TO BE IN STRICT ACCORDANCE WITH ENGINEERS DETAIL AND SPECIALISTS SPECIFICATION.
 - FINAL GROUND LEVELS TO BE DISCUSSED WITH ARCHITECT PRIOR TO ANY EXCAVATION ON SITE.

- GENERAL:**
1. ALL FINISHES AS PER FINISHES SCHEDULE.
 2. ALL CURBS/BOARDS, SHELVEING, BENCHES & OTHER FITTINGS/ FIXTURES TO DETAIL ON SEPARATE SHEETS.
 3. EXPANSION JOINTS TO ENG.'S SPEC. AND LOCATION.

Revision Schedule				
Rev. No.	Date Issued	Rev.	Revision Description	Issued to
A	2022.06.01		ISSUED FOR TENDER	



Project Title: **JCL - DESIGN DEVELOPMENT**

Drawing Title: **BASEMENT LEVEL**

Project No.	Drawing Type	Drawing No.	Rev No.
PPA299	TENDER	101	A

Scale: **1 : 100**



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Responsible Architect:
Babunde Ojo-Aromokodu; SACAP No 5803

Client Project No.: PPA299

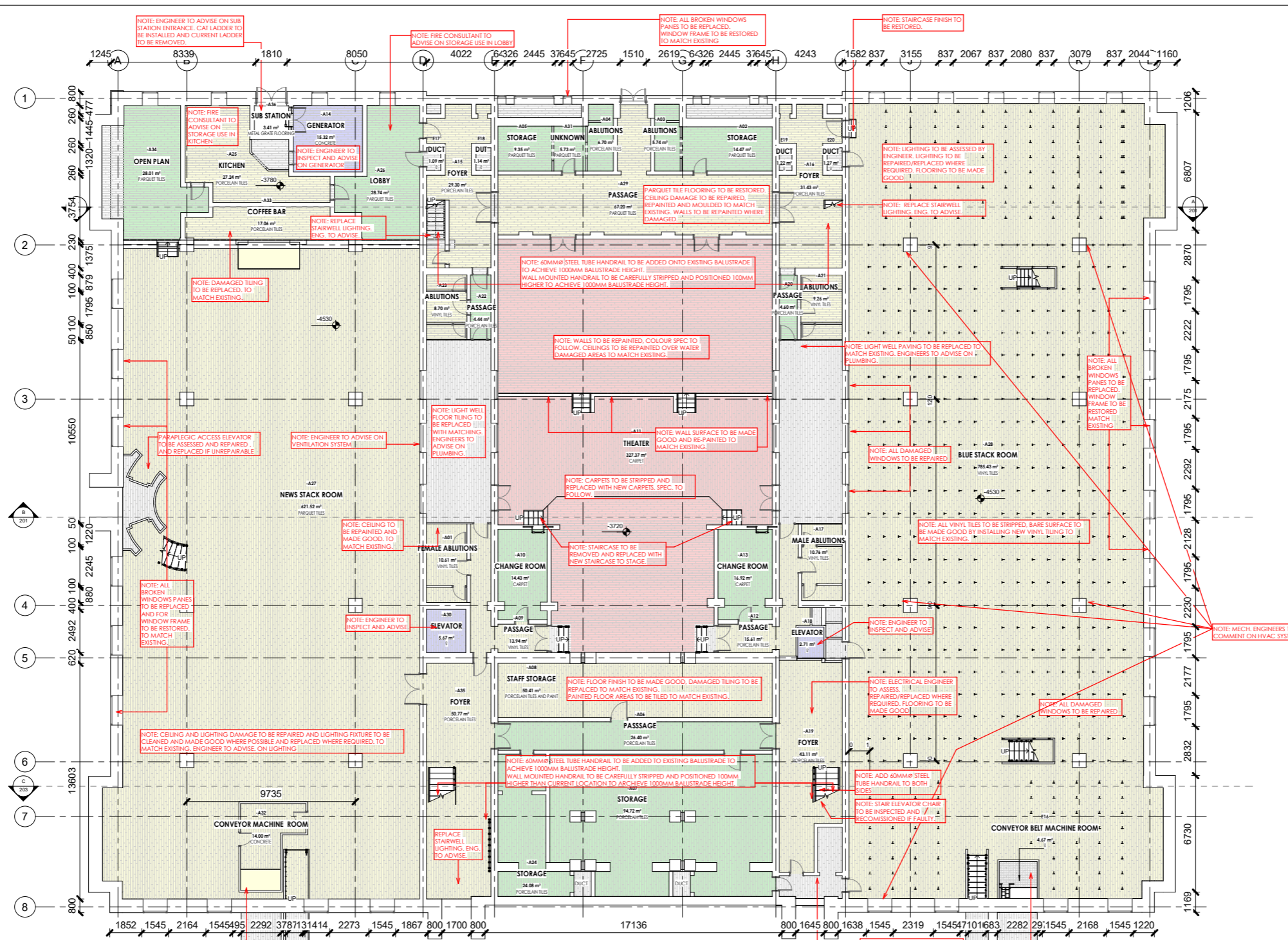
-05 BASEMENT
1 : 100

Room Schedule Basement Floor										
Room Name	Number	Wall Finish	Wall Damaged	Ceiling Finish	Ceiling Damaged	Floor Finish	Floor Damaged	Occupancy	Occupant	Requirements
DUCT	D-01		No		No		No			ENGINEER TO ADVISE
DUCT	D-02		No		No		No			ENGINEER TO ADVISE
LIGHT WELL	D-03		No		No	CONCRETE PAVING	No			UNKNOWN
LIGHT WELL	D-04		No		No	CONCRETE PAVING	No			UNKNOWN
DUCT	D-05	CONCRETE	No	CONCRETE	No	CONCRETE	No			ENGINEER TO ADVISE
DUCT	D-06	CONCRETE	No	CONCRETE	No	CONCRETE	No			ENGINEER TO ADVISE
DUCT	D-07	CONCRETE	No	CONCRETE	No	CONCRETE	No			ENGINEER TO ADVISE
BOOK STORE	D-08	PLASTER AND PAINT	No	FLUSH PLASTER	Yes	VINYL TILES	Yes			REPAIRS NEEDED
BASEMENT PLANT ROOM	D-09	PLASTER AND PAINT	Yes	CONCRETE	No	CONCRETE	No			ENGINEER TO ADVISE
DUCT	D-10	CONCRETE	No	CONCRETE	No	CONCRETE	No			ENGINEER TO ADVISE
ARCHIVES	D-11	PLASTER AND PAINT	Yes	CONCRETE	Yes	VINYL TILES	Yes			REPAIRS NEEDED
STORAGE	D-12	PLASTER AND PAINT	No	CONCRETE	No	VINYL TILES	No			REPAIRS NOT NEEDED
NO ACCESS	D-13		No		No		No			CLIENT TO ADVISE
EMERGENCY EXIT STAIRWELL	D-14	PLASTER AND PAINT	Yes	CONCRETE	No	PORCELAIN TILES	No			REPAIRS NEEDED
NO ACCESS	D-15		No		No		No			CLIENT TO ADVISE
EMERGENCY EXIT STAIRWELL	D-16	PLASTER AND PAINT	Yes	CONCRETE	No	PORCELAIN TILES	No			REPAIRS NEEDED
FOYER	D-17	PLASTER AND PAINT	Yes	FLUSH PLASTER	Yes	VINYL TILES	Yes			REPAIRS NEEDED
ELEVATOR	D-18		No		No		No			ENGINEER TO ADVISE
FOYER	D-19	PLASTER AND PAINT	Yes	FLUSH PLASTER	Yes	VINYL TILES	Yes			REPAIRS NEEDED
ELEVATOR	D-20		No		No		No			ENGINEER TO ADVISE
SUMP	D-21	PLASTER	No	CONCRETE	No	CONCRETE	Yes			ENGINEER TO ADVISE
NO ACCESS	D-22		No		No		No			CLIENT TO ADVISE
SUMP	D-23	PLASTER	No	CONCRETE	No	CONCRETE	Yes			ENGINEER TO ADVISE
NO ACCESS	D-24		No		No		No			CLIENT TO ADVISE

ISSUED FOR TENDER

ROOM REQUIREMENTS LEGEND

Blue	ENGINEER TO ADVISE
Red	RENOVATION NEEDED
Yellow	REPAIRS NEEDED
Green	REPAIRS NOT NEEDED



1 -02_SEMI-BASEMENT
1 : 100

Room Schedule Semi-Basement Floor

Room Name	Number	Wall Finish	Wall Damaged	Ceiling Finish	Ceiling Damaged	Floor Finish	Floor Damaged	Occupancy	Occupant	Requirements
FEMALE ABLUTIONS	A01	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	No	VINYL TILES	No			REPAIRS NEEDED
STORAGE	A02	PLASTER AND PAINT	No	CONCRETE	No	PARQUET TILES	No			REPAIRS NOT NEEDED
ABLUTIONS	A03	PORCELAIN TILE	No	FLUSH PLASTER	No	PORCELAIN TILES	No			REPAIRS NOT NEEDED
ABLUTIONS	A04	PORCELAIN TILE	No	FLUSH PLASTER	No	PORCELAIN TILES	No			REPAIRS NOT NEEDED
STORAGE	A05	PLASTER AND PAINT	No	FLUSH PLASTER	No	PARQUET TILES	No			REPAIRS NOT NEEDED
PASSAGE	A06	PLASTER AND PAINT	No	FLUSH PLASTER	No	PORCELAIN TILES	No			REPAIRS NOT NEEDED
STORAGE	A07	PLASTER AND PAINT	No	FLUSH PLASTER	No	PORCELAIN TILES	No			REPAIRS NOT NEEDED
STAFF STORAGE	A08	PLASTER AND PAINT	No	FLUSH PLASTER	Yes	PORCELAIN TILES AND PAINT	Yes			REPAIRS NEEDED
PASSAGE	A09	PLASTER AND PAINT	No	FLUSH PLASTER	Yes	FLUSH PLASTER	Yes			REPAIRS NEEDED
CHANGE ROOM	A10	PLASTER AND PAINT	No	CEILING TILES	No	CARPET	No			REPAIRS NOT NEEDED
THEATER	A11	PLASTER AND PAINT	Yes	MOLDED PLASTER	Yes	CARPET	Yes			RENOVATION NEEDED
PASSAGE	A12	PLASTER AND PAINT	No	FLUSH PLASTER	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
CHANGE ROOM	A13	PLASTER AND PAINT	No	CEILING TILES	No	CARPET	No			REPAIRS NOT NEEDED
GENERATOR	A14	PLASTER AND PAINT	No	FLUSH PLASTER	No	CONCRETE	No			ENGINEER TO ADVISE
FOYER	A15	PLASTER AND PAINT	Yes	FLUSH PLASTER	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
FOYER	A16	PLASTER AND PAINT	Yes	FLUSH PLASTER	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
MALE ABLUTIONS	A17	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	VINYL TILES	Yes			REPAIRS NEEDED
ELEVATOR	A18		No		No		No			ENGINEER TO ADVISE
FOYER	A19	PORCELAIN TILE	Yes	FLUSH PLASTER	No	PORCELAIN TILES	No			REPAIRS NEEDED
PASSAGE	A20	PLASTER AND PAINT	No	FLUSH PLASTER	No	PORCELAIN TILES	No			REPAIRS NOT NEEDED
ABLUTIONS	A21	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	No	VINYL TILES	No			REPAIRS NEEDED
PASSAGE	A22	PLASTER AND PAINT	No	FLUSH PLASTER	No	PORCELAIN TILES	No			REPAIRS NOT NEEDED
ABLUTIONS	A23	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	VINYL TILES	Yes			REPAIRS NEEDED
STORAGE	A24	PLASTER AND PAINT AND PORCELAIN TILES	No	FLUSH PLASTER	No	PORCELAIN TILES	No			REPAIRS NOT NEEDED
KITCHEN	A25	PLASTER AND PAINT	Yes	CEILING TILES	No	PORCELAIN TILES	Yes			REPAIRS NEEDED
LOBBY	A26	PLASTER AND PAINT	No	CEILING TILES	No	PARQUET TILES	No			REPAIRS NOT NEEDED
NEWS STACK ROOM	A27	PLASTER AND PAINT	Yes	FLUSH PLASTER	No	PARQUET TILES	No			REPAIRS NEEDED
BLUE STACK ROOM	A28	PLASTER AND PAINT	No	CONCRETE	No	VINYL TILES	Yes			REPAIRS NEEDED
PASSAGE	A29	PLASTER AND PAINT	No	MOLDED PLASTER	Yes	PARQUET TILES	Yes			REPAIRS NEEDED
ELEVATOR	A30		No		No		No			ENGINEER TO ADVISE
UNKNOWN	A31	PLASTER AND PAINT	No	FLUSH PLASTER	No	PARQUET TILES	No			REPAIRS NOT NEEDED
CONVEYOR MACHINE ROOM	A32	TIMBER	No	TIMBER	No	CONCRETE	No			REPAIRS NEEDED
COFFEE BAR	A33	PORCELAIN TILE	Yes	FLUSH PLASTER	No	PORCELAIN TILES	No			REPAIRS NEEDED
OPEN PLAN	A34	PLASTER AND PAINT	No	FLUSH PLASTER	No	PARQUET TILES	No			REPAIRS NOT NEEDED
FOYER	A35	PLASTER AND PAINT	Yes	FLUSH PLASTER	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
SUB STATION	A36		Yes	FLUSH PLASTER	Yes	METAL GRATE FLOORING	Yes			REPAIRS NEEDED
CONVEYOR BELT MACHINE ROOM	E14									REPAIRS NEEDED
DUCT	E17									
DUCT	E18									
DUCT	E19									
DUCT	E20									

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Revision Schedule

Rev. No.	Date Issued	Issued By	Revision Description	Issued To
1	2022.04.01		ISSUED FOR TENDER	



Project Title: JCL - DESIGN DEVELOPMENT

Drawing Title: SEMI-BASEMENT LEVEL

Project No:	PPA299	Drawing Type:	TENDER	Drawing No.:	103	Rev No.:	A
Scale:	1 : 100	Date:	23/09/22	Drawn by:	LD	Checked by:	MKM

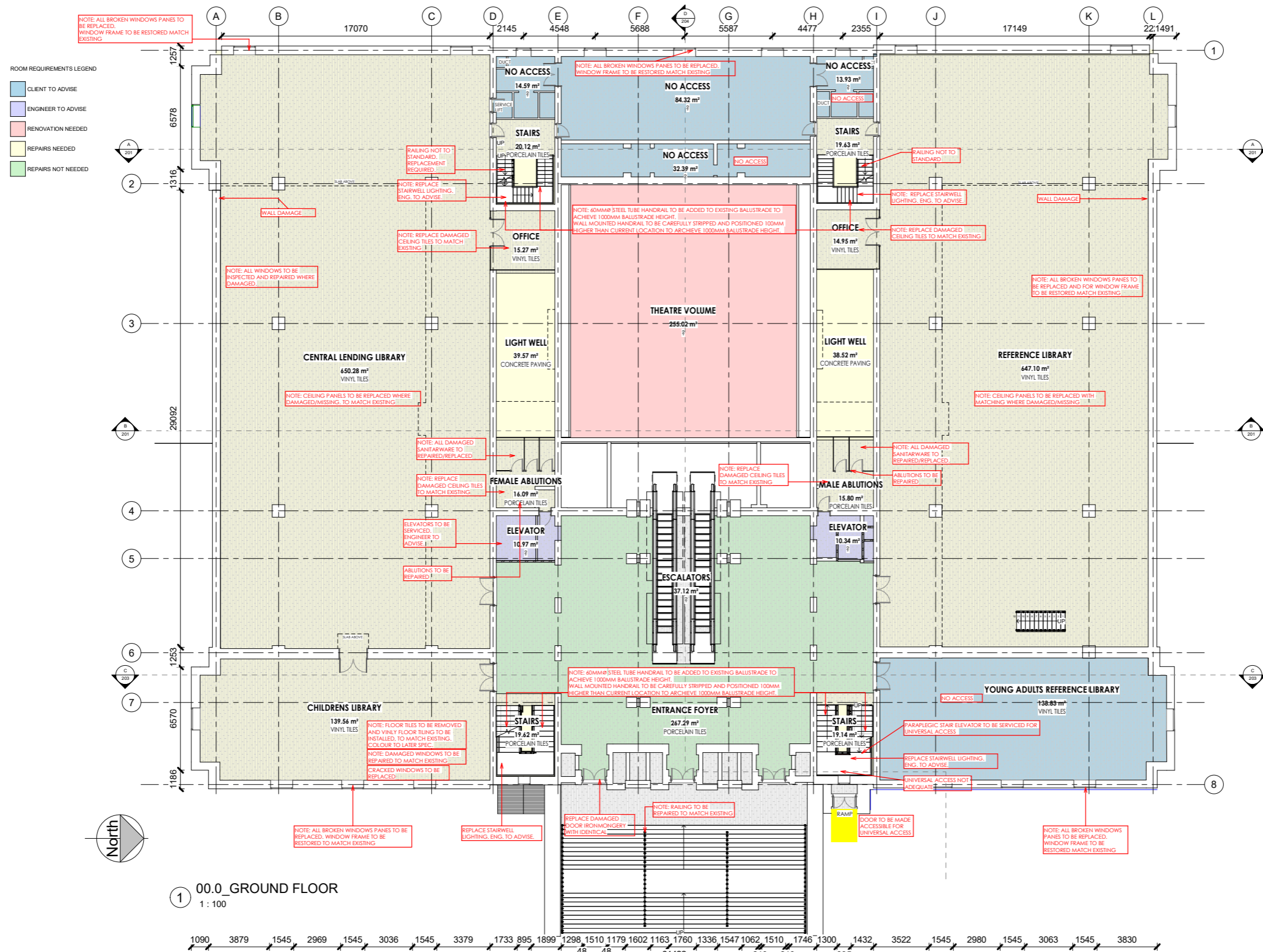


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Responsible Architect: Babalunde Ojo-Aromokodu; SACAP No 5803

Client Project No.: PPA299

ISSUED FOR TENDER



- ROOM REQUIREMENTS LEGEND**
- CLIENT TO ADVISE
 - ENGINEER TO ADVISE
 - RENOVATION NEEDED
 - REPAIRS NEEDED
 - REPAIRS NOT NEEDED

1 00.0_GROUND FLOOR
1:100

Room Schedule Ground Floor										
Room Name	Number	Wall Finish	Wall Damaged	Ceiling Finish	Ceiling Damaged	Floor Finish	Floor Damaged	Occupancy	Occupant	Requirements
YOUNG ADULTS REFERENCE LIBRARY	A02	PLASTER AND PAINT	No	MOLDED PLASTER	No	VINYL TILES	Yes			CLIENT TO ADVISE
CHILDRENS LIBRARY	A03	PLASTER AND PAINT	No	MOLDED PLASTER	Yes	VINYL TILES	Yes			REPAIRS NEEDED
CENTRAL LENDING LIBRARY	A05	PLASTER AND PAINT	No	MOLDED PLASTER AND CEILING TILES	Yes	VINYL TILES	Yes			REPAIRS NEEDED
ENTRANCE FOYER	A01	PLASTER AND PAINT	No	MOLDED PLASTER	No	PORCELAIN TILES	No			REPAIRS NOT NEEDED
ELEVATOR	A19		No		No		No			ENGINEER TO ADVISE
ELEVATOR	A18		No		No		No			ENGINEER TO ADVISE
MALE ABLUTIONS	A09	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	PORCELAIN TILES	No			REPAIRS NEEDED
FEMALE ABLUTIONS	A08	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	PORCELAIN TILES	No			REPAIRS NEEDED
THEATRE VOLUME	A23	PLASTER AND PAINT	No	MOLDED PLASTER	Yes		No			RENOVATION NEEDED
LIGHT WELL	A17		No		No	CONCRETE PAVING	No			REPAIRS NEEDED
LIGHT WELL	A16		No		No	CONCRETE PAVING	No			REPAIRS NEEDED
OFFICE	A14	PLASTER AND PAINT	No	CEILING TILES	No	VINYL TILES	Yes			REPAIRS NEEDED
OFFICE	A15	PLASTER AND PAINT	No	CEILING TILES	No	VINYL TILES	Yes			REPAIRS NEEDED
STAIRS	A11(A)	PLASTER AND PAINT	Yes	FLUSH PLASTER	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
STAIRS	A11	PLASTER AND PAINT	Yes	FLUSH PLASTER	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
NO ACCESS	A07		No		No		No			CLIENT TO ADVISE
NO ACCESS	A22		No		No		No			CLIENT TO ADVISE
REFERENCE LIBRARY	A04	PLASTER AND PAINT	No	MOLDED PLASTER AND CEILING TILES	Yes	VINYL TILES	Yes			REPAIRS NEEDED
NO ACCESS	A13		No		No		No			CLIENT TO ADVISE
NO ACCESS	A12		No		No		Yes			CLIENT TO ADVISE
STAIRS	A21	PLASTER AND PAINT	No	FLUSH PLASTER	No	PORCELAIN TILES	No			REPAIRS NEEDED
STAIRS	A20	PLASTER AND PAINT	No	FLUSH PLASTER	No	PORCELAIN TILES	No			REPAIRS NEEDED
ESCALATORS	A10		No		No		No			

- GENERAL NOTES:**
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Revision Schedule			
Rev. No.	Date Issued	Rev. Description	Issued to
A	2023.04.01	ISSUED FOR TENDER	



Project Title: JCL - DESIGN DEVELOPMENT
Drawing Title: GROUND LEVEL

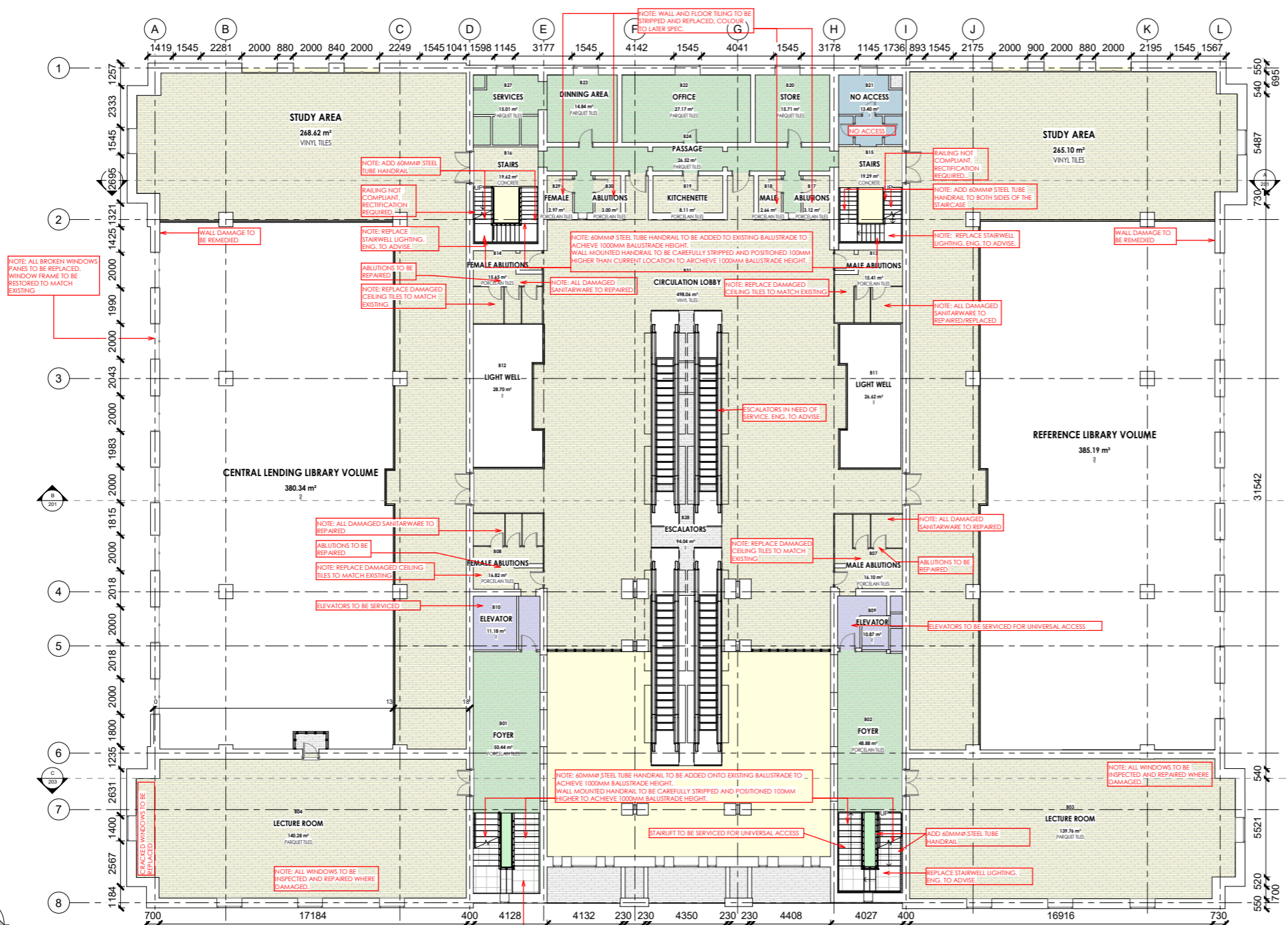
Project No:	PPA299	Drawing Type:	TENDER	Drawing No.:	105	Rev. No.:	A
Scale:	1:100	Date:	23/09/22	Drawn by:	LD	Designed by:	BOA



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Responsible Architect:
Babatunde Ojo-Aromokodu; SACAP No 5803
Client Project No.: PPA299

ISSUED FOR TENDER



ROOM REQUIREMENTS LEGEND

Blue	CLIENT TO ADVISE
Light Blue	ENGINEER TO ADVISE
Yellow	REPAIRS NEEDED
Green	REPAIRS NOT NEEDED

1 00.1_MEZZANINE FLOOR
1 : 100

Room Schedule Mezzanine Floor										
Room Name	Number	Wall Finish	Wall Damaged	Ceiling Finish	Ceiling Damaged	Floor Finish	Floor Damaged	Occupancy	Occupant	Requirements
REFERENCE LIBRARY VOLUME	B05		No		No		No			REPAIRS NEEDED
LECTURE ROOM	B03	PLASTER AND PAINT	No	MOLDED PLASTER	No	PARQUET TILES	No			REPAIRS NEEDED
CENTRAL LENDING LIBRARY VOLUME	B06		No		No		No			
FOYER	B01	PLASTER AND PAINT AND PORCELAIN TILES	No	FLUSH PLASTER	No	PORCELAIN TILES	No			REPAIRS NOT NEEDED
FOYER	B02	PLASTER AND PAINT	No	FLUSH PLASTER	No	PORCELAIN TILES	No			REPAIRS NOT NEEDED
SERVICES	B27	PLASTER AND PAINT	No	CEILING TILES	No	PARQUET TILES	No			REPAIRS NOT NEEDED
STORE	B20	PLASTER AND PAINT	Yes	CEILING TILES	No	PARQUET TILES	No			REPAIRS NOT NEEDED
OFFICE	B22	PLASTER AND PAINT	Yes	CEILING TILES	No	PARQUET TILES	No			REPAIRS NOT NEEDED
DINNING AREA	B23	PLASTER AND PAINT	Yes	CEILING TILES	Yes	PARQUET TILES	No			REPAIRS NOT NEEDED
KITCHENETTE	B19	PLASTER AND PAINT AND PORCELAIN TILES	Yes	CEILING TILES	Yes	PORCELAIN TILES	No			REPAIRS NEEDED
PASSAGE	B24	PLASTER AND PAINT	Yes	FLUSH PLASTER	No	PARQUET TILES	No			REPAIRS NOT NEEDED
MALE ABLUTIONS	B13	PLASTER AND PAINT AND PORCELAIN TILES	Yes	CEILING TILES	Yes	PORCELAIN TILES	No			REPAIRS NEEDED
FEMALE ABLUTIONS	B14	PLASTER AND PAINT AND PORCELAIN TILES	Yes	CEILING TILES	Yes	PORCELAIN TILES	No			REPAIRS NEEDED
FEMALE ABLUTIONS	B08	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	PORCELAIN TILES	No			REPAIRS NEEDED
MALE ABLUTIONS	B07	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	PORCELAIN TILES	No			REPAIRS NEEDED
FEMALE ABLUTIONS	B29	PORCELAIN TILE	No	CEILING TILES	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
ABLUTIONS	B30	PORCELAIN TILE	No	CEILING TILES	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
MALE ABLUTIONS	B18	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
ABLUTIONS	B17	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
NO ACCESS	B21		No		No		No			CLIENT TO ADVISE
LECTURE ROOM	B04	PLASTER AND PAINT	Yes	FLUSH PLASTER	No	PARQUET TILES	Yes			REPAIRS NEEDED
STUDY AREA	B26	PLASTER AND PAINT	No	MOLDED PLASTER	No	VINYL TILES	Yes			REPAIRS NEEDED
STUDY AREA	B25	PLASTER AND PAINT	No	MOLDED PLASTER	No	VINYL TILES	Yes			REPAIRS NEEDED
ELEVATOR	B10		No		No		No			ENGINEER TO ADVISE
ELEVATOR	B09		No		No		No			ENGINEER TO ADVISE
CIRCULATION LOBBY	B31	PLASTER AND PAINT	No	CEILING TILES	Yes	VINYL TILES	Yes			REPAIRS NEEDED
STAIRS	B15	PLASTER AND PAINT	Yes	FLUSH PLASTER	No	CONCRETE	No			REPAIRS NEEDED
ESCALATORS	B28									
STAIRS	B16	PLASTER AND PAINT	Yes	FLUSH PLASTER	No	CONCRETE	No			REPAIRS NEEDED
LIGHT WELL	B11		No		No		No			
LIGHT WELL	B12		No		No		No			

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Revision Schedule

Rev. No.	Date Issued	Inf.	Revision Description	Issued to
1	2022.04.01		ISSUED FOR TENDER	



Project Title: JCL- DESIGN DEVELOPMENT

Drawing Title: MEZZANINE LEVEL

Project No:	PPA299	Drawing Type:	TENDER	Drawing No.:	106	Rev. No.:	A
Scale:	1 : 100	Date:	23/09/22	Drawn by:	LD	Checked by:	MKM



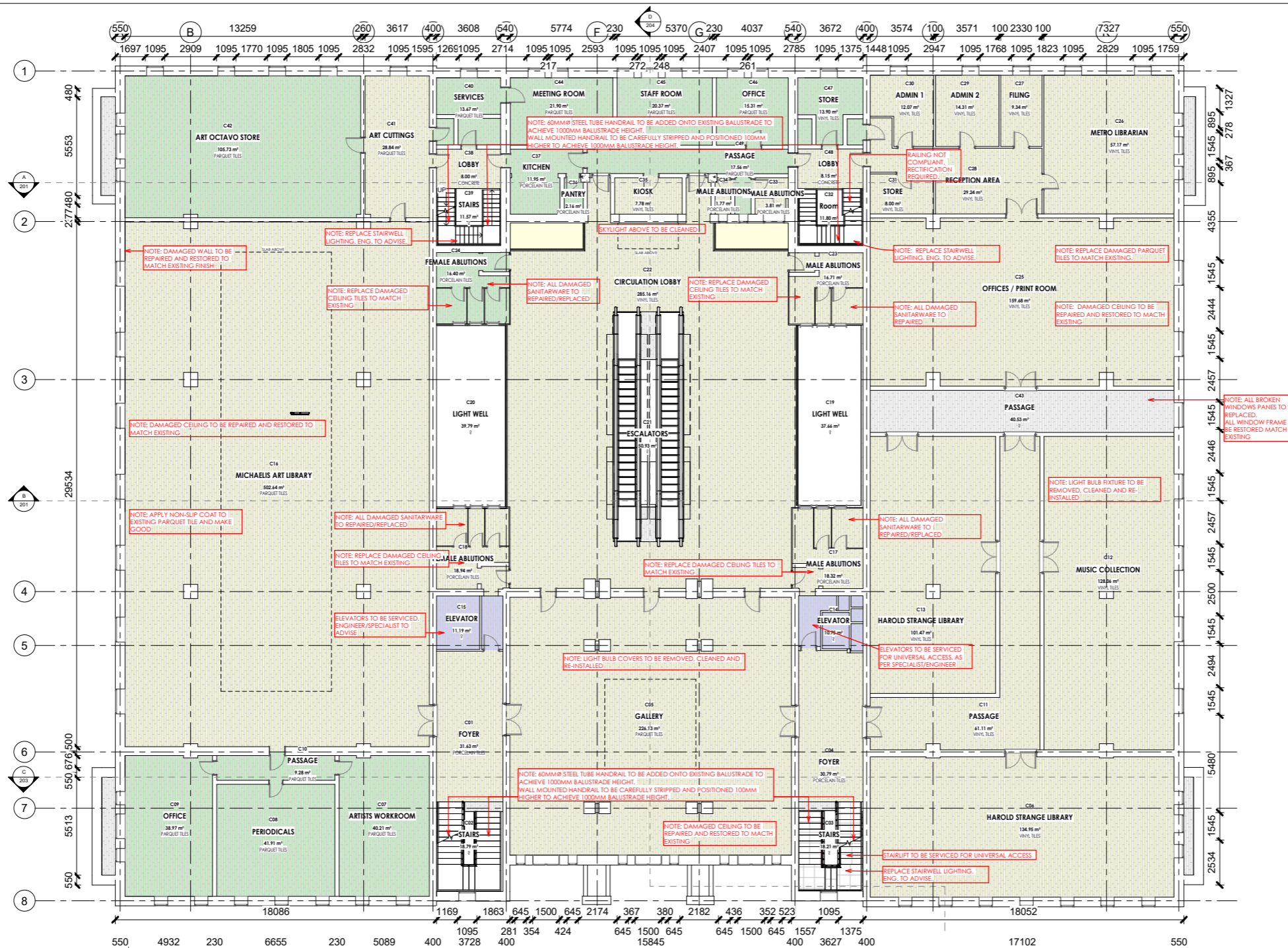
348 Rivonia Boulevard, Rivonia, Sandton.
P.O. Box 2541 Rivonia. 2128
Telephone : 011.803.8161
Fax : 011.803.7080
E-mail : jhb@prositeplan.com

Responsible Architect: Babalunde Ojo-Aromokodu; SACAP No 5803

ISSUED FOR TENDER

ROOM REQUIREMENTS LEGEND

- ENGINEER TO ADVISE
- REPAIRS NEEDED
- REPAIRS NOT NEEDED



01 FIRST FLOOR
1 : 100

Room Name	Number	Wall Finish	Wall Damaged	Ceiling Finish	Ceiling Damaged	Floor Finish	Floor Damaged	Occupancy	Occupant	Requirements
FOYER	C01	PLASTER AND PAINT	No	MOLDED PLASTER	Yes	PORCELAIN TILES	No			REPAIRS NEEDED
STAIRS	C02									
STAIRS	C03									
FOYER	C04	PLASTER AND PAINT	Yes	MOLDED PLASTER	No	PORCELAIN TILES	No			REPAIRS NEEDED
GALLERY	C05	PLASTER AND PAINT	Yes	MOLDED PLASTER	No	PARQUET TILES	Yes			REPAIRS NEEDED
HAROLD STRANGE LIBRARY	C06	PLASTER AND PAINT	No	MOLDED PLASTER	No	VINYL TILES	Yes			REPAIRS NOT NEEDED
ARTISTS WORKROOM	C07	PLASTER AND PAINT	No	MOLDED PLASTER	No	PARQUET TILES	No			REPAIRS NOT NEEDED
PERIODICALS	C08	PLASTER AND PAINT	No	FLUSH PLASTER	No	PARQUET TILES	No			REPAIRS NOT NEEDED
OFFICE	C09	PLASTER AND PAINT	No	FLUSH PLASTER	No	PARQUET TILES	No			REPAIRS NOT NEEDED
PASSAGE	C10	PLASTER AND PAINT	No	FLUSH PLASTER	No	PARQUET TILES	No			REPAIRS NOT NEEDED
PASSAGE	C11	PLASTER AND PAINT	No	MOLDED PLASTER	No	VINYL TILES	Yes			REPAIRS NEEDED
MUSIC COLLECTION	C12	PLASTER AND PAINT	No	MOLDED PLASTER	No	VINYL TILES	Yes			REPAIRS NEEDED
HAROLD STRANGE LIBRARY	C13	PLASTER AND PAINT	Yes	MOLDED PLASTER	No	VINYL TILES	Yes			REPAIRS NEEDED
ELEVATOR	C14		No		No		No			ENGINEER TO ADVISE
ELEVATOR	C15		No		No		No			ENGINEER TO ADVISE
MICHAELIS ART LIBRARY	C16	PLASTER AND PAINT	No	CEILING TILES	Yes	PARQUET TILES	Yes			REPAIRS NEEDED
MALE ABLUTIONS	C17	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
FEMALE ABLUTIONS	C18	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	No	PORCELAIN TILES	No			REPAIRS NEEDED
LIGHT WELL	C20	FACE BRICK								
ESCALATORS	C21									
CIRCULATION LOBBY	C22	PLASTER AND PAINT	No	MOLDED PLASTER AND CEILING TILES	Yes	VINYL TILES	Yes			REPAIRS NEEDED
MALE ABLUTIONS	C23	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
FEMALE ABLUTIONS	C24	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	No	PORCELAIN TILES	No			REPAIRS NOT NEEDED
OFFICES / PRINT ROOM	C25	PLASTER AND PAINT	No	MOLDED PLASTER	No	VINYL TILES	Yes			REPAIRS NEEDED
METRO LIBRARIAN	C26	PLASTER AND PAINT	No	MOLDED PLASTER	No	VINYL TILES	Yes			REPAIRS NEEDED
FILING	C27	PLASTER AND PAINT	No	MOLDED PLASTER	No	VINYL TILES	Yes			REPAIRS NEEDED
RECEPTION AREA	C28	PLASTER AND PAINT	No	MOLDED PLASTER	No	VINYL TILES	Yes			REPAIRS NEEDED
ADMIN 2	C29	PLASTER AND PAINT	No	MOLDED PLASTER	No	VINYL TILES	Yes			REPAIRS NEEDED
ADMIN 1	C30	PLASTER AND PAINT	No	MOLDED PLASTER	No	VINYL TILES	Yes			REPAIRS NEEDED
STORE	C31	PLASTER AND PAINT	No	MOLDED PLASTER	No	VINYL TILES	Yes			REPAIRS NEEDED
Room	C32									
FEMALE ABLUTIONS	C33	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
MALE ABLUTIONS	C34	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
KIOSK	C35	PLASTER AND PAINT	No	FLUSH PLASTER	No	VINYL TILES	Yes			REPAIRS NEEDED
PANTRY	C36	PLASTER AND PAINT	No	CEILING TILES	No	PORCELAIN TILES	Yes			REPAIRS NOT NEEDED
KITCHEN	C37	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	No	PORCELAIN TILES	No			REPAIRS NOT NEEDED
LOBBY	C38	PLASTER AND PAINT	No	FLUSH PLASTER	No	CONCRETE	Yes			REPAIRS NEEDED
STAIRS	C39									
SERVICES	C40	PLASTER AND PAINT	No	FLUSH PLASTER	No	PARQUET TILES	No			REPAIRS NOT NEEDED
ART CUTTINGS	C41	PLASTER AND PAINT	No	MOLDED PLASTER	No	PARQUET TILES	Yes			REPAIRS NEEDED
ART OCTAVO STORE	C42	PLASTER AND PAINT	No	MOLDED PLASTER	No	PARQUET TILES	No			REPAIRS NOT NEEDED
PASSAGE	C43									
MEETING ROOM	C44	PLASTER AND PAINT	No	CEILING TILES	No	PARQUET TILES	No			REPAIRS NOT NEEDED
STAFF ROOM	C45	PLASTER AND PAINT	No	CEILING TILES	No	PARQUET TILES	No			REPAIRS NOT NEEDED
OFFICE	C46	PLASTER AND PAINT	No	CEILING TILES	No	PARQUET TILES	No			REPAIRS NOT NEEDED
OFFICE	C47	PLASTER AND PAINT	No	FLUSH PLASTER	No	VINYL TILES	No			REPAIRS NOT NEEDED
LOBBY	C48	PLASTER AND PAINT	No	FLUSH PLASTER	No	CONCRETE	No			REPAIRS NEEDED
PASSAGE	C49	PLASTER AND PAINT	No	FLUSH PLASTER	No	PARQUET TILES	No			REPAIRS NOT NEEDED

01_FIRST FLOOR: 49

- GENERAL NOTES:**
- ALL WORK TO COMPLY WITH THE NATIONAL BUILDING REGULATION & BUILDING STANDARDS ACT 5485 (2000) 1995 LOCAL COUNCIL REQUIREMENTS & ALL RELEVANT SPECIFICATIONS AND CODES.
 - FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING. OVERALL DIMENSIONS (EXTERNAL) TO TAKE PRECEDENCE.
 - ALL DIMENSIONS, LEVELS AND HEIGHTS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECTS BEFORE ANY WORK TAKES PLACE.
 - FINISHED FLOOR LEVELS TO BE REPORTED TO THE ARCHITECTS NATURAL GROUND LEVEL UNLESS OTHERWISE SHOWN. FIREWALLS TO UNDERLIE FLOOR COVERING.
 - ALL DOORS TO THE EXTERIOR THAT OPEN OUTWARD ARE TO HAVE A 100mm STEP UP ALONG THE LONGITUDINAL CENTRE LINE OF THE DOOR LEAF. A BRASS OR ALUMINIUM STRIP IS TO BE INSTALLED TO THE THRESHOLD. ALL REINFORCED CONCRETE TO BE TO STRUCTURAL ENGINEERS CERTIFICATE & DETAIL TO BE SUBMITTED.
 - VERTICAL TANKING TO ALL LEVEL CHANGES TO BE STRICT ACCORDANCE WITH ENGINEERS DETAIL AND SPECIALISTS SPECIFICATION.
 - FINAL GROUND LEVELS TO BE DISCUSSED WITH ARCHITECT PRIOR TO ANY EXCAVATION ON SITE.

- GENERAL:**
1. ALL FINISHES AS PER FINISHES SCHEDULE.
 2. ALL CURBWORKERS, SHELVEING, BENCHES & OTHER FITTINGS/ FIXTURES TO DETAIL ON SEPARATE SHEETS.
 3. EXPANSION JOINTS TO ENG.'S SPEC. AND LOCATION.

Revision Schedule				
Rev. No.	Date Issued	Rev. Description	Issued to	Issued by
A	2022.04.01	ISSUED FOR TENDER		



Project Title: JCL - DESIGN DEVELOPMENT
Drawing Title: FIRST FLOOR LEVEL

Project No: PPA299
Drawing Type: TENDER
Drawing No: 107
Rev No: A



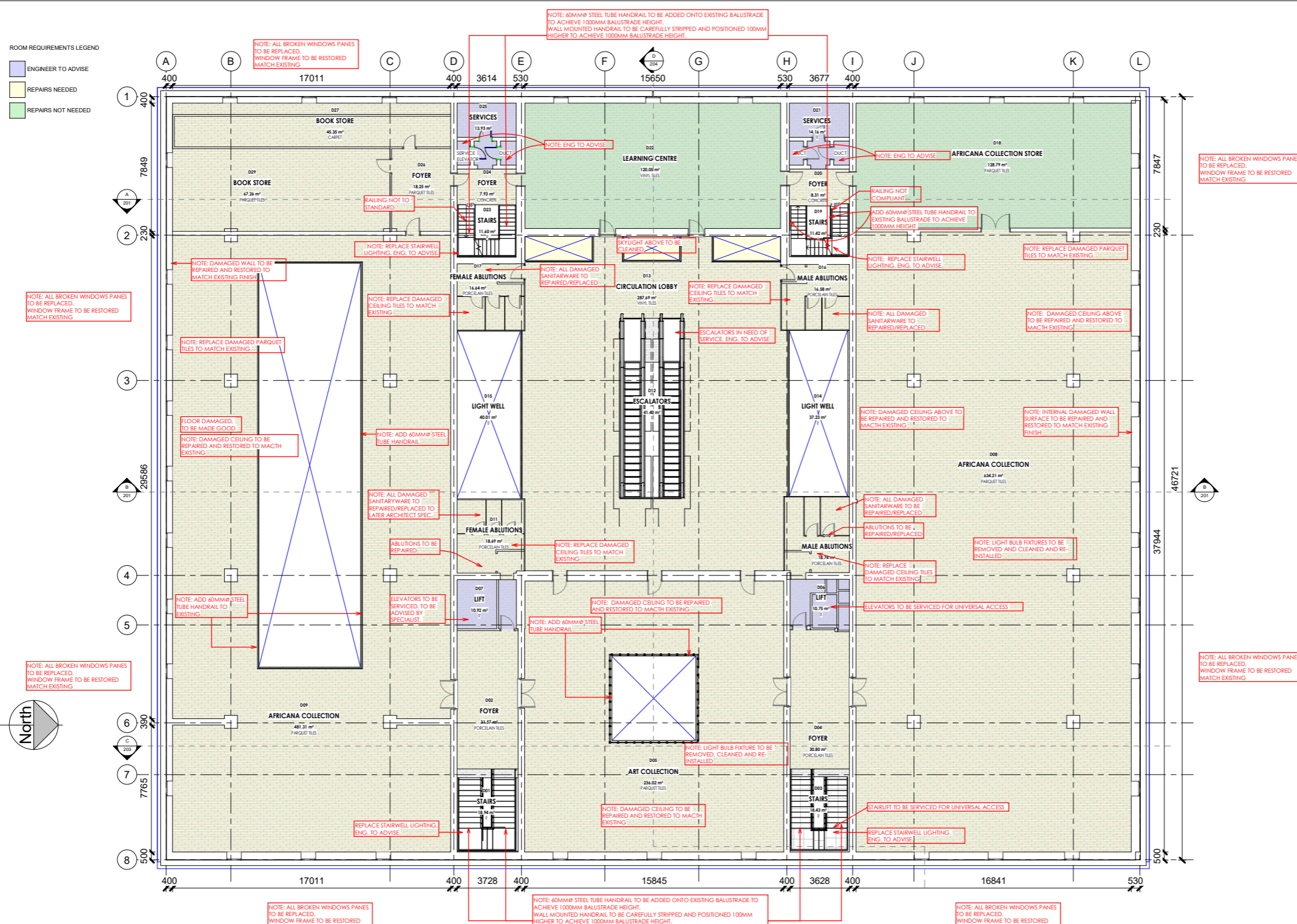
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E-mail : jhb@prositeplan.com

Responsible Architect: Babalunde Ojo-Aromokodu; SACAP No 5803
Client Project No.: PPA299
Client Signature:

ISSUED FOR TENDER

ROOM REQUIREMENTS LEGEND

- ENGINEER TO ADVISE
- REPAIRS NEEDED
- REPAIRS NOT NEEDED



1 02_SECOND FLOOR
1 : 100

Room Schedule Second Floor										
Room Name	Number	Wall Finish	Wall Damaged	Ceiling Finish	Ceiling Damaged	Floor Finish	Floor Damaged	Occupancy	Occupant	Requirements
STAIRS	D01									
FOYER	D02	PLASTER AND PAINT	No	MOLDED PLASTER	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
STAIRS	D03									
FOYER	D04	PLASTER AND PAINT	No	MOLDED PLASTER	Yes	PORCELAIN TILES	Yes			REPAIRS NEEDED
ART COLLECTION	D05	PLASTER AND PAINT	No	FLUSH PLASTER	Yes	PARQUET TILES	Yes			REPAIRS NEEDED
LIFT	D06		No		No		No			ENGINEER TO ADVISE
LIFT	D07		No		No		No			ENGINEER TO ADVISE
AFRICANA COLLECTION	D08	PLASTER AND PAINT	No	MOLDED PLASTER	No	PARQUET TILES	Yes			REPAIRS NEEDED
AFRICANA COLLECTION	D09	PLASTER AND PAINT	No	FLUSH PLASTER	Yes	PARQUET TILES	Yes			REPAIRS NEEDED
MALE ABLUTIONS	D10	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	PORCELAIN TILES	No			REPAIRS NEEDED
FEMALE ABLUTIONS	D11	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	PORCELAIN TILES	No			REPAIRS NEEDED
ESCALATORS	D12									
CIRCULATION LOBBY	D13	PLASTER AND PAINT	No	CEILING TILES	No	VINYL TILES	Yes			REPAIRS NEEDED
LIGHT WELL	D14									
LIGHT WELL	D15									
MALE ABLUTIONS	D16	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	PORCELAIN TILES	No			REPAIRS NEEDED
FEMALE ABLUTIONS	D17	PLASTER AND PAINT AND PORCELAIN TILES	No	CEILING TILES	Yes	PORCELAIN TILES	No			REPAIRS NEEDED
AFRICANA COLLECTION STORE	D18	PLASTER AND PAINT	No	MOLDED PLASTER	No	PARQUET TILES	No			REPAIRS NOT NEEDED
STAIRS	D19									
FOYER	D20	PLASTER AND PAINT	No	FLUSH PLASTER	No	CONCRETE	Yes			REPAIRS NEEDED
SERVICES	D21									ENGINEER TO ADVISE
LEARNING CENTRE	D22	PLASTER AND PAINT	No	CONCRETE	No	VINYL TILES	No			REPAIRS NOT NEEDED
STAIRS	D23									
FOYER	D24	PLASTER AND PAINT	No	FLUSH PLASTER	No	CONCRETE	No			REPAIRS NEEDED
SERVICES	D25									ENGINEER TO ADVISE
FOYER	D26	PLASTER AND PAINT	No	FLUSH PLASTER	Yes	PARQUET TILES	Yes			REPAIRS NEEDED
BOOK STORE	D27	PLASTER AND PAINT	No	FLUSH PLASTER WITH VENTILATION GRATES	Yes	CARPET	No			REPAIRS NEEDED
BOOK STORE	D29	PLASTER AND PAINT	No	MOLDED PLASTER	No	PARQUET TILES	No			REPAIRS NEEDED

02_SECOND FLOOR: 28

- GENERAL NOTES:**
- ALL WORK TO COMPLY WITH THE NATIONAL BUILDING REGULATION & BUILDING STANDARDS ACT 93 OF 1977, LOCAL COUNCIL REQUIREMENTS & ALL RELEVANT SPECIFICATIONS AND CODES.
 - FIGURED DIMENSIONS (EXTERNAL) TO TAKE PRECEDENCE. ALL DIMENSIONS, LEVELS AND HEIGHTS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECTS BEFORE ANY WORK TAKES PLACE.
 - FINISHED FLOOR LEVELS TO BE A MINIMUM OF 150mm ABOVE NATURAL GROUND LEVEL UNLESS OTHERWISE SHOWN. FIREWALLS TO UNDERLIESE OF FLOOR COVERING.
 - ALL DOORS TO THE EXTERIOR THAT OPEN OUTWARD ARE TO HAVE A 100mm STEP UP ALONG THE LONGITUDINAL CENTRE LINE OF THE DOOR LEAF. A BRASS OR ALUMINIUM STRIP IS TO BE INSTALLED TO THE THRESHOLD. ALL REINFORCED CONCRETE TO BE TO STRUCTURAL ENGINEERS CERTIFICATE & DETAIL TO BE SUBMITTED. VERTICAL TANKING TO ALL LEVEL. CHANGES TO BE IN STRICT ACCORDANCE WITH ENGINEERS DETAIL AND SPECIALISTS SPECIFICATION.
 - FINAL GROUND LEVELS TO BE DISCUSSED WITH ARCHITECT PRIOR TO ANY EXCAVATION ON SITE.

- GENERAL:**
1. ALL FINISHES AS PER FINISHES SCHEDULE.
 2. ALL CURBBOARDS, SHELVS, BENCHES & OTHER FITTINGS/ FIXTURES TO DETAIL ON SEPARATE SHEETS.
 3. EXPANSION JOINTS TO ENG.'S SPEC. AND LOCATION.

Rev. No.	Date Issued	Inf	Revision Description	Issued to
1	2022.04.01		ISSUED FOR TENDER	



Project Title: JCL - DESIGN DEVELOPMENT

Drawing Title: SECOND FLOOR LEVEL

Project No:	PPA299	Drawing Type:	TENDER	Drawing No.:	108	Rev. No.:	A
Scale:	1 : 100	Date:	23/09/22	Drawn by:	LD	Designed by:	AK
				Checked by:	MMK		



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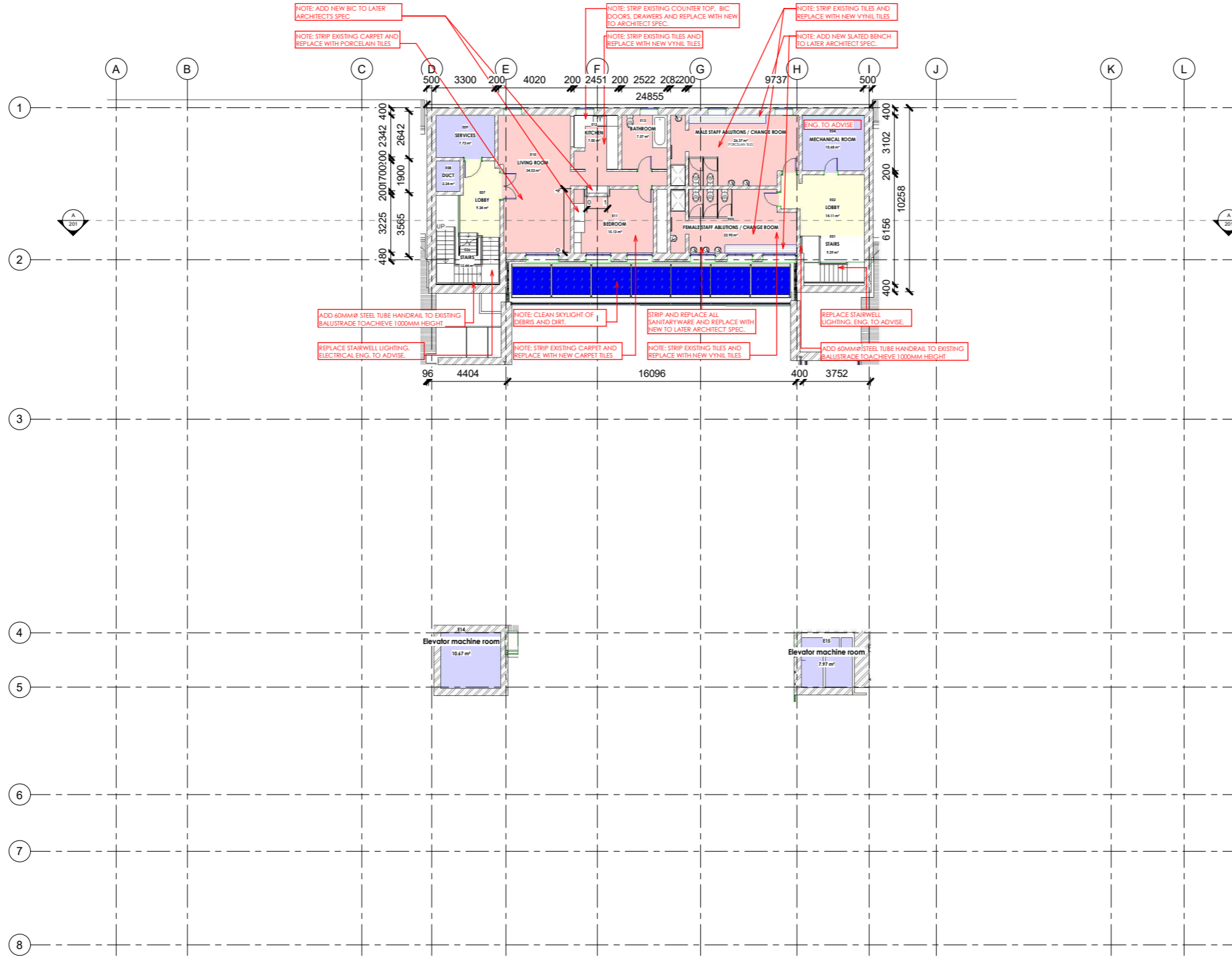
Responsible Architect:
Babatunde Ojo-Aromokodu; SACAP No 5803

Client Project No.: Client Signature:

ISSUED FOR TENDER

ROOM REQUIREMENTS LEGEND

- ENGINEER TO ADVISE
- RENOVATION NEEDED
- REPAIRS NEEDED



1 03_THIRD FLOOR
1 : 100

Room Schedule Third Floor										
Room Name	Number	Wall Finish	Wall Damaged	Ceiling Finish	Ceiling Damaged	Floor Finish	Floor Damaged	Occupancy	Occupant	Requirements
STAIRS	E01							STAFF ONLY		
LOBBY	E02	PLASTER AND PAINT	No	FLUSH PLASTER	Yes	PORCELAIN TILES	No	STAFF ONLY		REPAIRS NEEDED
FEMALE STAFF ABLUTIONS / CHANGE ROOM	E03	PORCELAIN TILE	Yes	CEILING TILES	Yes	PORCELAIN TILES	Yes	STAFF ONLY		RENOVATION NEEDED
MECHANICAL ROOM	E04	PLASTER AND PAINT	No	CEILING TILES	Yes	VINYL TILES	Yes	STAFF ONLY		ENGINEER TO ADVISE
MALE STAFF ABLUTIONS / CHANGE ROOM	E05	PORCELAIN TILE	Yes	CEILING TILES	Yes	PORCELAIN TILES	Yes	STAFF ONLY		RENOVATION NEEDED
STAIRS	E06							STAFF ONLY		
LOBBY	E07	PLASTER AND PAINT	No	FLUSH PLASTER	Yes	PORCELAIN TILES	Yes	STAFF ONLY		REPAIRS NEEDED
DUCT	E08							STAFF ONLY		ENGINEER TO ADVISE
SERVICES	E09	PLASTER AND PAINT	No	FLUSH PLASTER	Yes	CONCRETE	Yes	STAFF ONLY		ENGINEER TO ADVISE
LIVING ROOM	E10	PLASTER AND PAINT	Yes	FLUSH PLASTER	Yes	CARPET	Yes	STAFF ONLY		RENOVATION NEEDED
BEDROOM	E11	PLASTER AND PAINT	Yes	FLUSH PLASTER	Yes	CARPET	Yes	STAFF ONLY		RENOVATION NEEDED
KITCHEN	E12	PLASTER AND PAINT	Yes	FLUSH PLASTER	Yes	PORCELAIN TILES	Yes	STAFF ONLY		RENOVATION NEEDED
BATHROOM	E13	PLASTER AND PAINT	Yes	FLUSH PLASTER	Yes	PORCELAIN TILES	Yes	STAFF ONLY		RENOVATION NEEDED
Elevator machine room	E14							STAFF ONLY		ENGINEER TO ADVISE
Elevator machine room	E15							STAFF ONLY		ENGINEER TO ADVISE

03_THIRD FLOOR: 15

- GENERAL NOTES:**
- ALL WORK TO COMPLY WITH THE NATIONAL BUILDING REGULATION & BUILDING STANDARDS ACT 93/1997, LOCAL COUNCIL REQUIREMENTS & ALL RELEVANT SPECIFICATIONS AND CODES.
 - FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING. OVERALL DIMENSIONS (EXTERNAL) TO TAKE PRECEDENCE. ALL DIMENSIONS, LEVELS AND HEIGHTS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECTS BEFORE ANY WORK TAKES PLACE.
 - FINISHED FLOOR LEVELS TO BE A MINIMUM OF 150mm ABOVE NATURAL GROUND LEVEL UNLESS OTHERWISE SHOWN. FIREWALLS TO UNDERLIESE OF FLOOR COVERING.
 - ALL DOORS TO THE EXTERIOR THAT OPEN OUTWARD ARE TO HAVE A 10mm STEP UP ALONG THE LONGITUDINAL CENTRE LINE OF THE DOOR LEAF. A BRASS OR ALUMINIUM STRIP IS TO BE INSTALLED TO THE THRESHOLD. ALL REINFORCED CONCRETE TO BE TO STRUCTURAL ENGINEERS CERTIFICATE & DETAIL TO BE SUBMITTED.
 - VERTICAL TANKING TO ALL LEVEL CHANGES TO BE IN STRICT ACCORDANCE WITH ENGINEERS DETAIL AND SPECIALISTS SPECIFICATION.
 - FINAL GROUND LEVELS TO BE DISCUSSED WITH ARCHITECT PRIOR TO ANY EXCAVATION ON SITE.
- GENERAL:**
1. ALL FINISHES AS PER FINISHES SCHEDULE.
 2. ALL CUPBOARDS, SHELVING, BENCHES & OTHER FITTINGS/ FIXTURES TO DETAIL ON SEPARATE SHEETS.
 3. EXPANSION JOINTS TO ENG.'S SPEC. AND LOCATION.

Revision Schedule			
Rev. No.	Date Issued	Rev. Description	Issued to
A	2023.04.01	ISSUED FOR TENDER	



Project Title: **JCL- DESIGN DEVELOPMENT**

Drawing Title: **THIRD FLOOR LEVEL**

Project No.: **PPA299** Drawing Type: **TENDER** Drawing No.: **109** Rev. No.: **A**

Scale: **1 : 100** Date: **23/09/22** Drawn by: **LD MKM/LD** Checked by: **MKM**

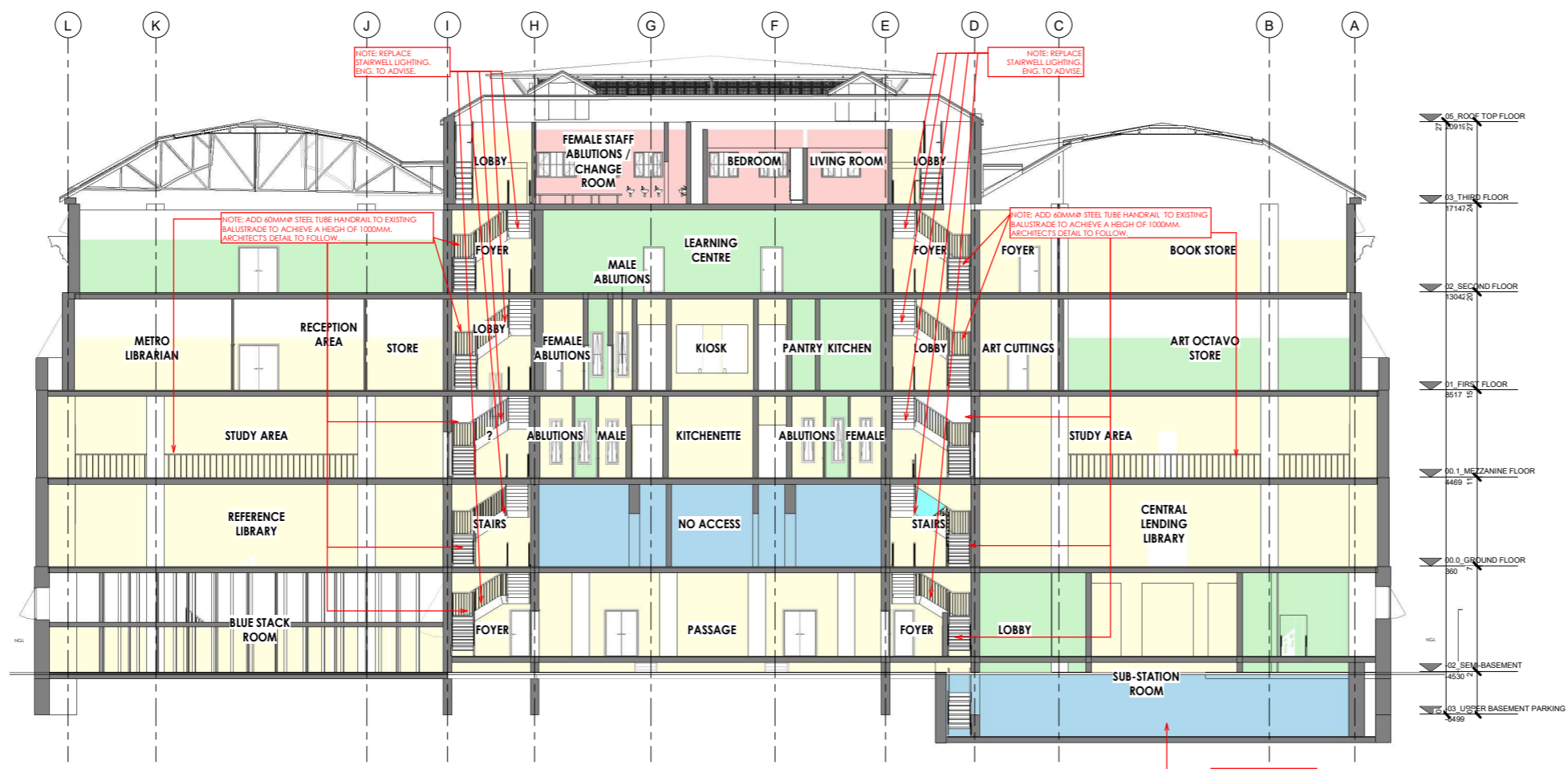
Prosit Plan Africa (Pty) Ltd
architecture
project management

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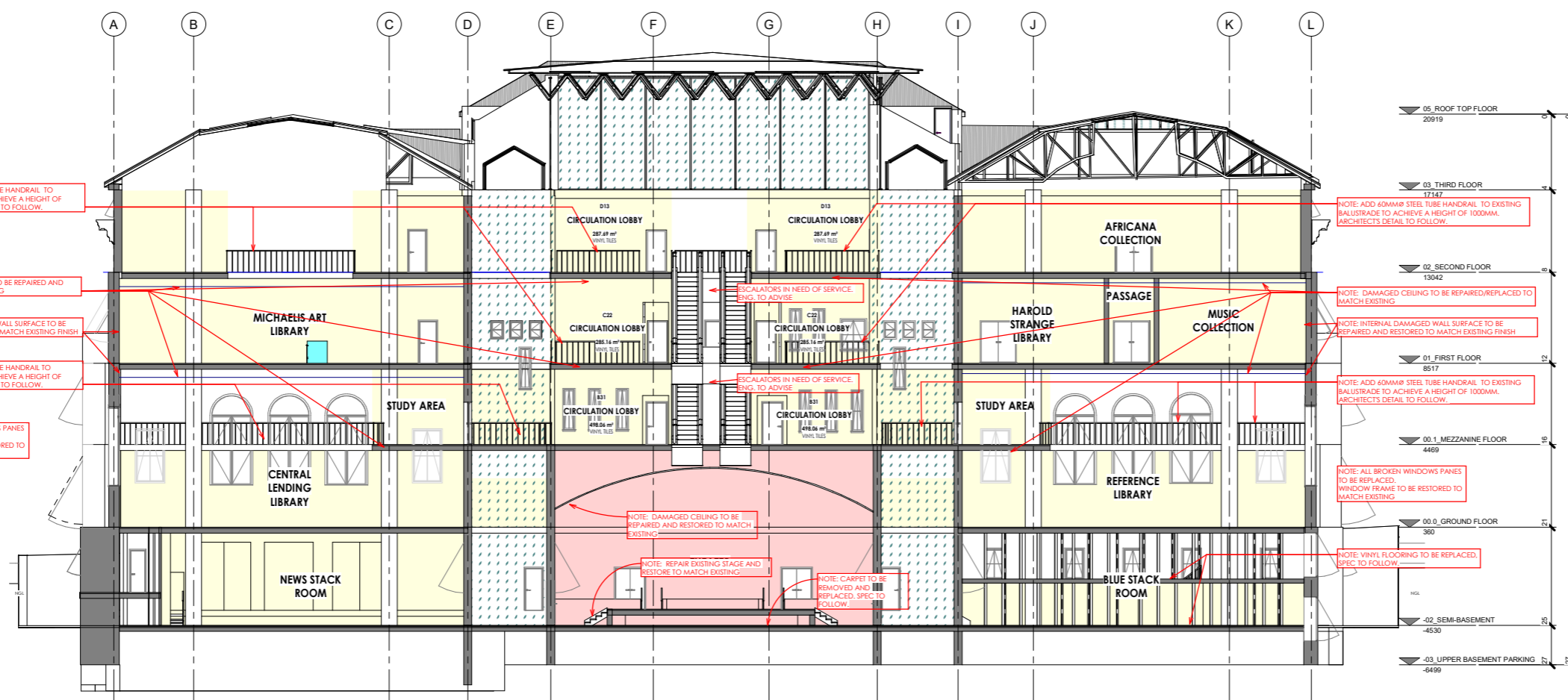
Responsible Architect:
Babatunde Ojo-Aromokudu; SACAP No 5803

Client Project No.: Client Signature:

ISSUED FOR TENDER



A SECTION A-A
1 : 100



B SECTION B-B
1 : 100

GENERAL NOTES:


- ALL WORK TO COMPLY WITH THE NATIONAL BUILDING REGULATION & BUILDING STANDARDS ACT 5385 (2001), LOCAL COUNCIL REQUIREMENTS & ALL RELEVANT SPECIFICATIONS AND CODES.
- FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING. OVERALL DIMENSIONS (EXTERNAL) TO TAKE PRECEDENCE. ALL DIMENSIONS, LEVELS AND HEIGHTS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECTS BEFORE ANY WORK TAKES PLACE.
- FINISHED FLOOR LEVELS TO BE A MINIMUM OF 150mm ABOVE NATURAL GROUND LEVEL UNLESS OTHERWISE SHOWN. FIREWALLS TO UNDERLIESE OF FLOOR COVERING.
- ALL DOORS TO THE EXTERIOR THAT OPEN OUTWARD ARE TO HAVE A 10mm STEP UP ALONG THE LONGITUDINAL CENTRE LINE OF THE DOOR LEAF. A BRASS OR ALUMINIUM STRIP IS TO BE INSTALLED TO THE THRESHOLD. ALL REINFORCED CONCRETE TO BE TO STRUCTURAL ENGINEERS CERTIFICATE & DETAIL TO BE SUBMITTED.
- VERTICAL TANKING TO ALL LEVEL CHANGES TO BE IN STRICT ACCORDANCE WITH ENGINEERS DETAIL AND SPECIALISTS SPECIFICATION. FINAL GROUND LEVELS TO BE DISCUSSED WITH ARCHITECT PRIOR TO ANY EXCAVATION ON SITE.

GENERAL:

- ALL FINISHES AS PER FINISHES SCHEDULE
- ALL CURBWARDS, SHELIVING, BENCHES & OTHER FITTINGS/ FIXTURES TO DETAIL ON SEPARATE SHEETS.
- EXPANSION JOINTS TO ENG.'S SPEC. AND LOCATION.

Revision Schedule				
Rev. No.	Date Issued	Issued By	Revision Description	Issued To
A	2023.04.01		ISSUED FOR TENDER	


Client:



Project Title: JCL- DESIGN DEVELOPMENT

Drawing Title: SECTIONS A-A & B-B

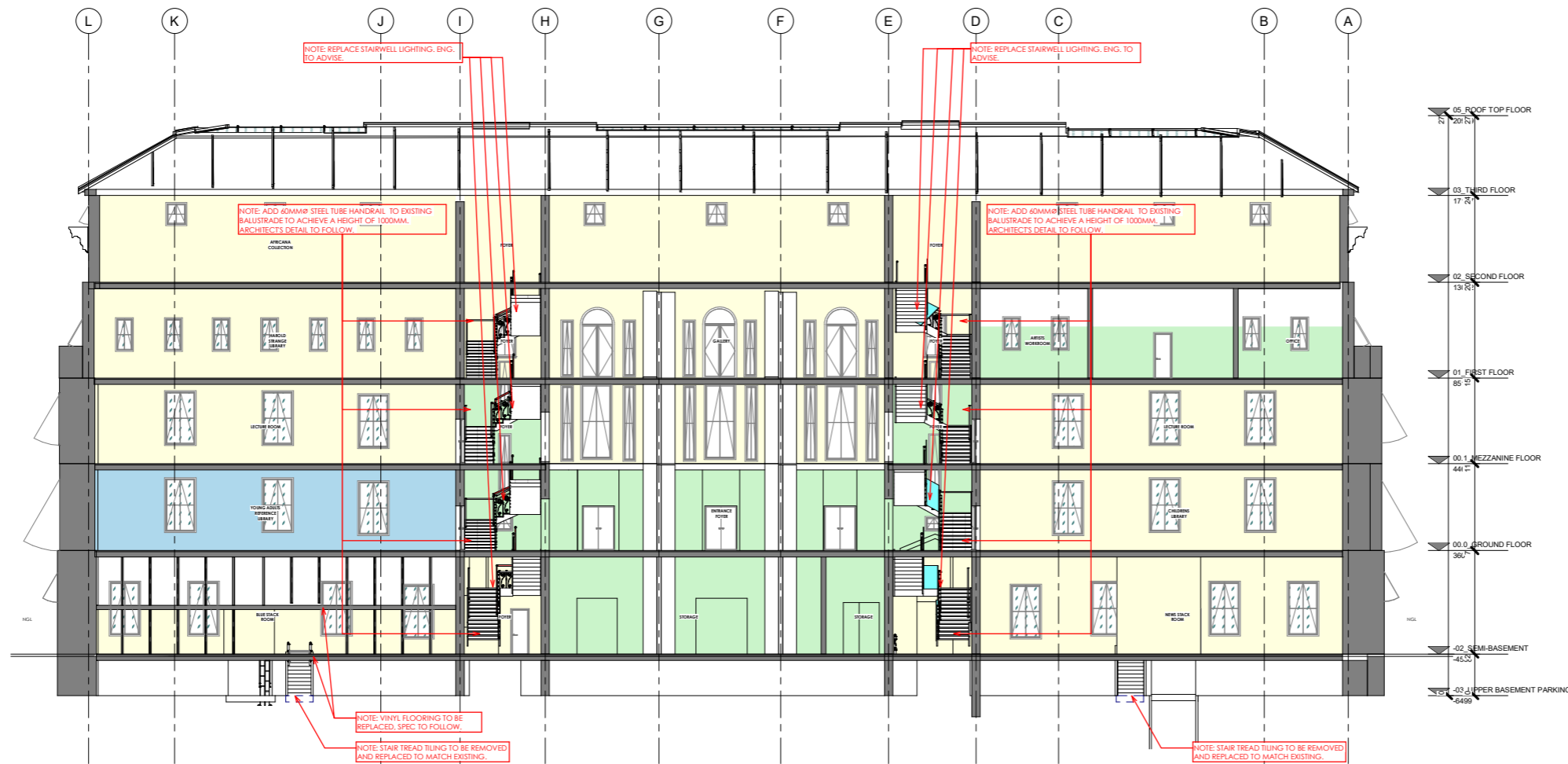
Project No:	PPA299	Drawing Type:	TENDER	Drawing No.:	201	Rev No.:	A
Scale:	1 : 100	Date:	23/09/22	Drawn by:	LD MKM/LD MKM	Checked by:	MKM



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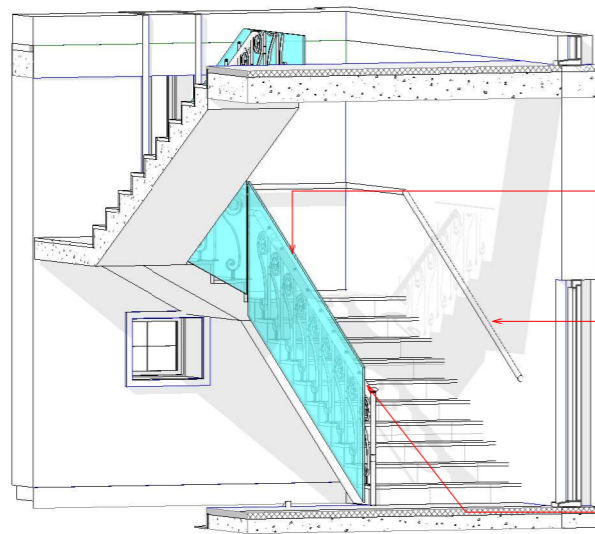
Responsible Architect:
Babalunde Ojo-Aromokodu; SACAP No 5803

Client Project No.:	PPA299
Client Signature:	



SECTION C-C
1 : 100

OPTION 1



OPTION 1_TYPICAL MAIN STAIR DETAIL_3D VIEW

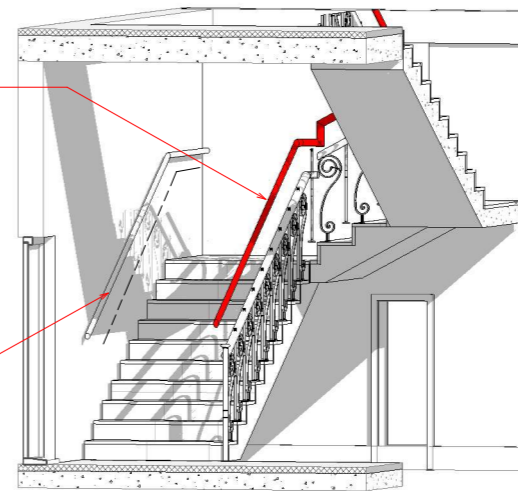
NOTE: ADD 60MMØ BRASS PLATED STAINLESS STEEL TUBE HANDRAIL CLAMPED TO EXISTING BALUSTRADE.

NOTE: ADD 1000MM HIGH GLASS BALUSTRADE ON OUTSIDE EDGE BALUSTRADE TO ACHIEVE 1000MM BALUSTRADE HEIGHT.

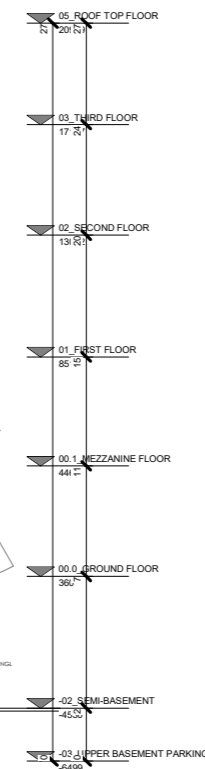
NOTE: WALL MOUNTED HANDRAIL TO BE CAREFULLY STRIPPED AND REPOSITIONED 100MM HIGHER THAN CURRENT LOCATION. WALL SURFACE IS TO BE MADE GOOD AND FINISHED TO MATCH EXISTING WALL

NOTE: EXISTING BRASS HANDRAIL TO BE RESTORED. PLATING RESTORATION TO MATCH EXISTING

OPTION 2



TYPICAL MAIN STAIR DETAIL V2_3D VIEW



GENERAL NOTES:

- ALL WORK TO COMPLY WITH THE NATIONAL BUILDING REGULATION & BUILDING STANDARDS ACT SABS 0400 1993, LOCAL COUNCIL REQUIREMENTS & ALL RELEVANT SPECIFICATIONS AND CODES.
- FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.
- OVERALL DIMENSIONS (EXTERNAL) TO TAKE PRECEDENCE.
- ALL DIMENSIONS, LEVELS AND HEIGHTS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECTS BEFORE ANY WORK TAKES PLACE.
- FINISHED FLOOR LEVELS TO BE A MINIMUM OF 150mm ABOVE NATURAL GROUND LEVEL UNLESS OTHERWISE SHOWN. FIREWALLS TO UNDERLIE OF FLOOR COVERING.
- ALL DOORS TO THE EXTERIOR THAT OPEN OUTWARD ARE TO HAVE A 100mm STEP UP ALONG THE LONGITUDINAL CENTRE LINE OF THE DOOR LEAF. A BRASS OR ALUMINIUM STRIP IS TO BE INSTALLED TO THE THRESHOLD. ALL REINFORCED CONCRETE TO BE TO STRUCTURAL ENGINEERS CERTIFICATE & DETAIL TO BE SUBMITTED.
- VERTICAL TANKING TO ALL LEVEL CHANGES TO BE IN STRICT ACCORDANCE WITH ENGINEERS DETAIL AND SPECIALISTS SPECIFICATION.
- FINAL GROUND LEVELS TO BE DISCUSSED WITH ARCHITECT PRIOR TO ANY EXCAVATION ON SITE.

GENERAL:

1. ALL FINISHES AS PER FINISHES SCHEDULE.
2. ALL CURBBOARDS, SHELVING, BENCHES & OTHER FITTINGS/ FIXTURES TO DETAIL ON SEPARATE SHEETS.
3. EXPANSION JOINTS TO ENG.'S SPEC. AND LOCATION.

Revision Schedule				
Rev. No.	Date Issued	Inf	Revision Description	Issued to
A	2022.04.01		ISSUED FOR TENDER	



Project Title: JCL - DESIGN DEVELOPMENT

Drawing Title: SECTION C-C, TYPICAL STAIR DETAIL OPTIONS

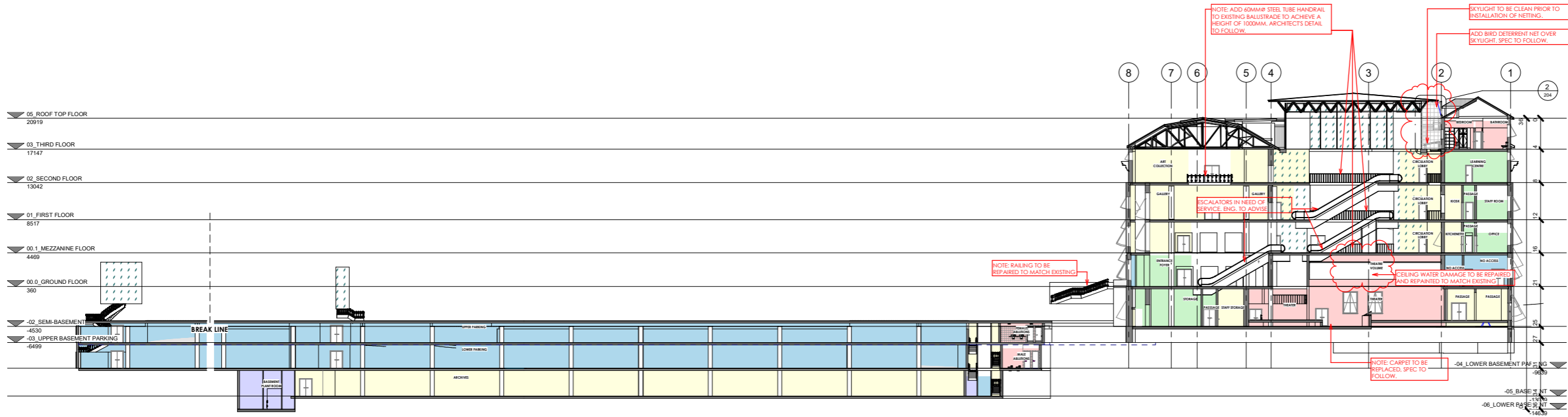
Project No.	Drawing Type	Drawing No.	Rev. No.
PPA299	TENDER	203	A
Scale: 1 : 100	Date: 09/29/22	Author: MKM/LD	Checked by: Checker



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Responsible Architect: Babatunde Ojo-Aromokodu; SACAP No 5803

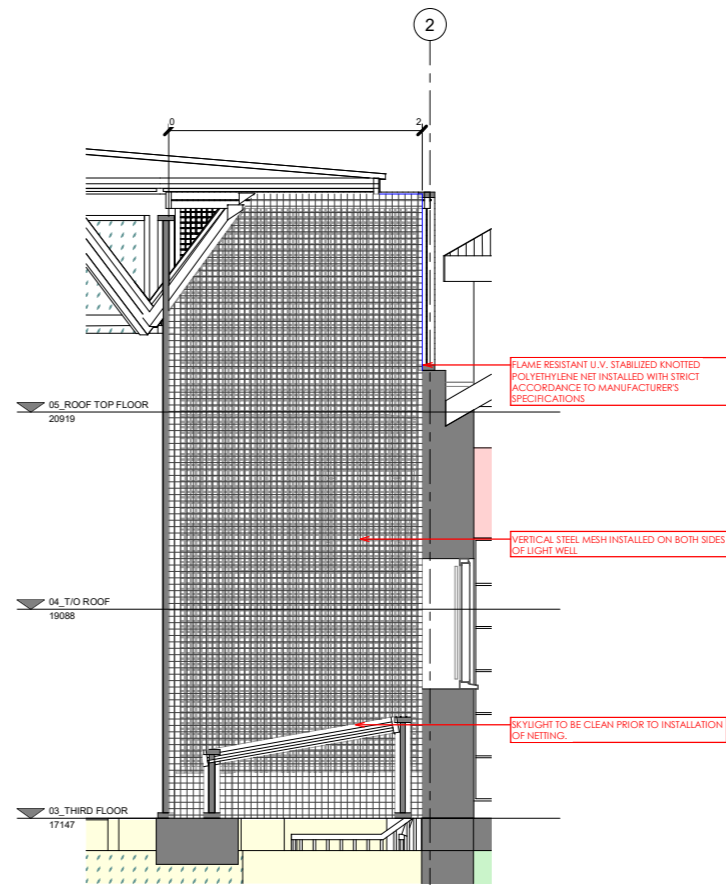
Client Project No.: PPA299



SECTION D-D
1 : 200



TYPICAL BIRD NET
DETAIL



BIRD DETERRANT
DETAIL_1
1 : 25

- GENERAL NOTES:**
- ALL WORK TO COMPLY WITH THE NATIONAL BUILDING REGULATION & BUILDING STANDARDS ACT SABS 0400 1993, LOCAL COUNCIL REQUIREMENTS & ALL RELEVANT SPECIFICATIONS AND CODES.
 - FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING. OVERALL DIMENSIONS (EXTERNAL) TO TAKE PRECEDENCE.
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 - FINISHED FLOOR LEVELS TO BE A MINIMUM OF 150mm ABOVE NATURAL GROUND LEVEL UNLESS OTHERWISE SHOWN. FIREWALLS TO UNDERSIDE OF FLOOR COVERING.
 - ALL DOORS TO THE EXTERIOR THAT OPEN OUTWARD ARE TO HAVE A 10mm STEP UP ALONG THE LONGITUDINAL CENTRE LINE OF THE DOOR LEAF. A BRASS OR ALUMINIUM STRIP IS TO BE INSTALLED TO THE THRESHOLD. ALL REINFORCED CONCRETE TO BE TO STRUCTURAL ENGINEERS CERTIFICATE & DETAIL TO BE SUBMITTED.
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Revision Schedule

Rev. No.	Date Issued	By	Revision Description	Issued to
A	2022.06.01		ISSUED FOR TENDER	



Project Title: JCL- DESIGN DEVELOPMENT

Drawing Title: SECTION D-D, DETAILS

Project No.	Drawing Type	Drawing No.	Rev No.
PPA299	TENDER	204	A

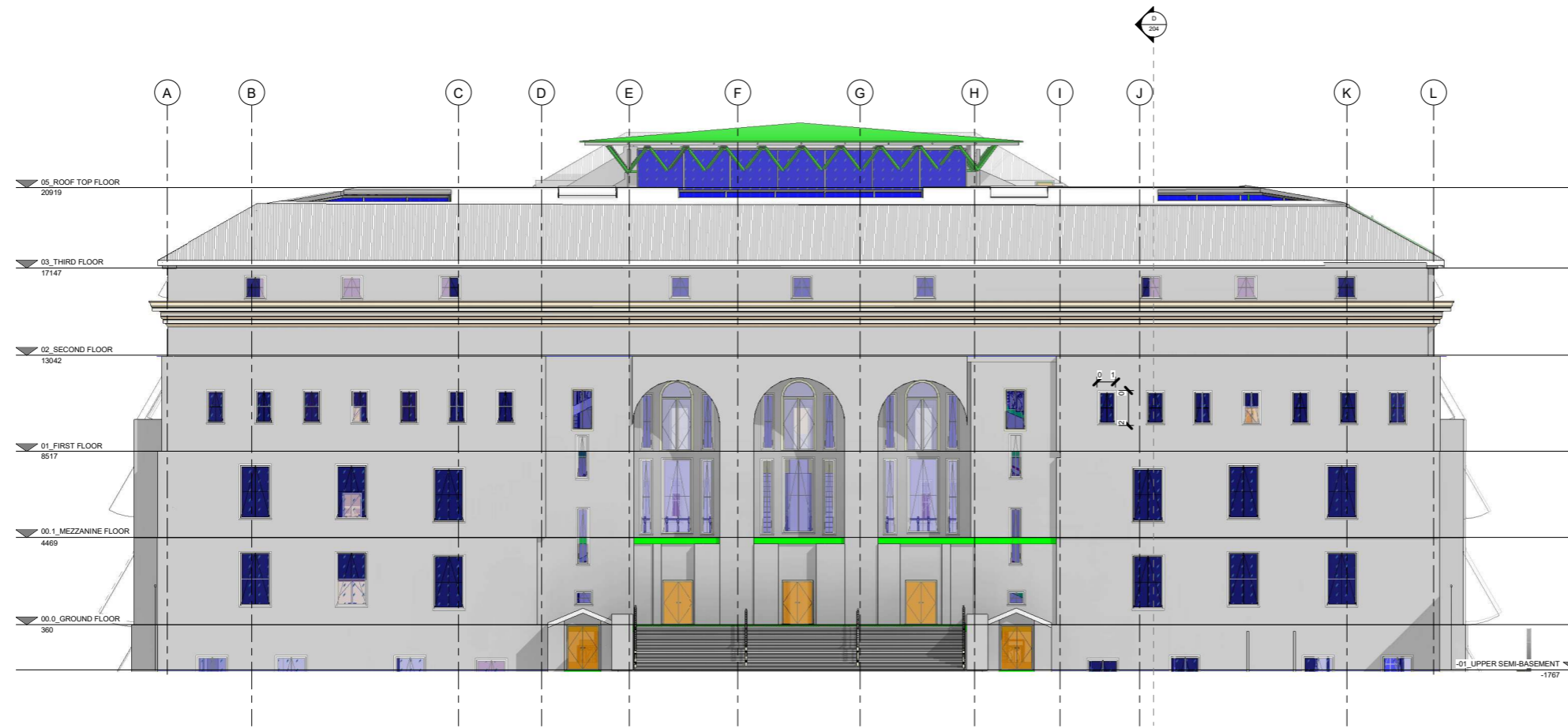
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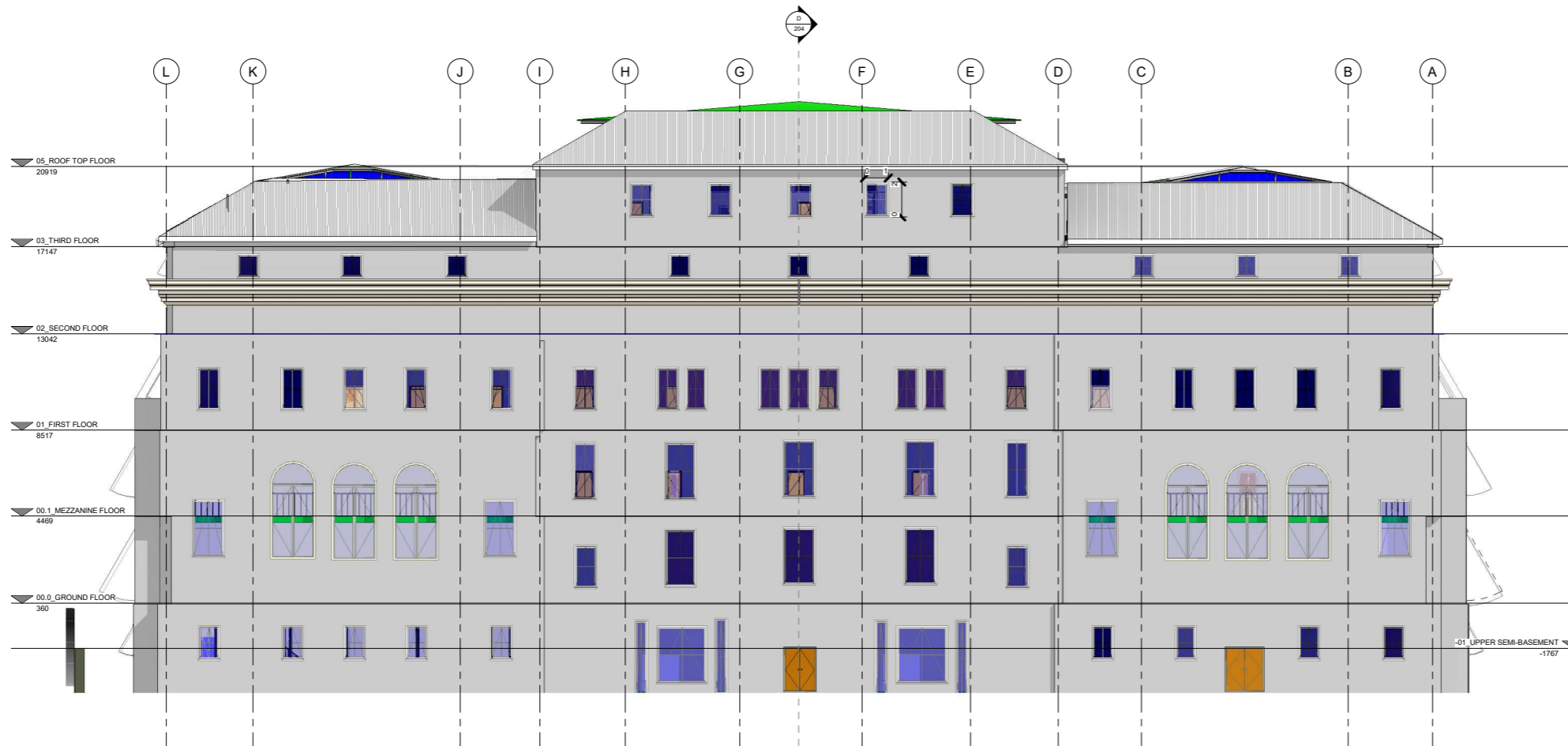
348 Rivonia Boulevard, Rivonia, Sandton.
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Fax : 011.803.7080
E-mail : jhb@prositeplan.com

Responsible Architect: Babatunde Ojo-Aromokodu; SACAP No 5803

Client Project No.	Client Signature:
PPA299	



1 WEST ELEVATION
1 : 100



2 EAST ELEVATION
1 : 100

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 - ALL DOORS TO THE EXTERIOR THAT OPEN OUTWARD ARE TO HAVE A 100mm STEP UP ALONG THE LONGITUDINAL CENTRE LINE OF THE DOOR LEAF. A BRASS OR ALUMINIUM STRIP IS TO BE INSTALLED TO THE THRESHOLD. ALL REINFORCED CONCRETE TO BE TO STRUCTURAL ENGINEERS CERTIFICATE & DETAIL TO BE SUBMITTED.
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Revision Schedule				
Rev. No.	Date Issued	Issued By	Revision Description	Issued To
A	2022.04.01		ISSUED FOR TENDER	



Project Title: JCL - DESIGN DEVELOPMENT

Drawing Title: ELEVATIONS - EAST & WEST

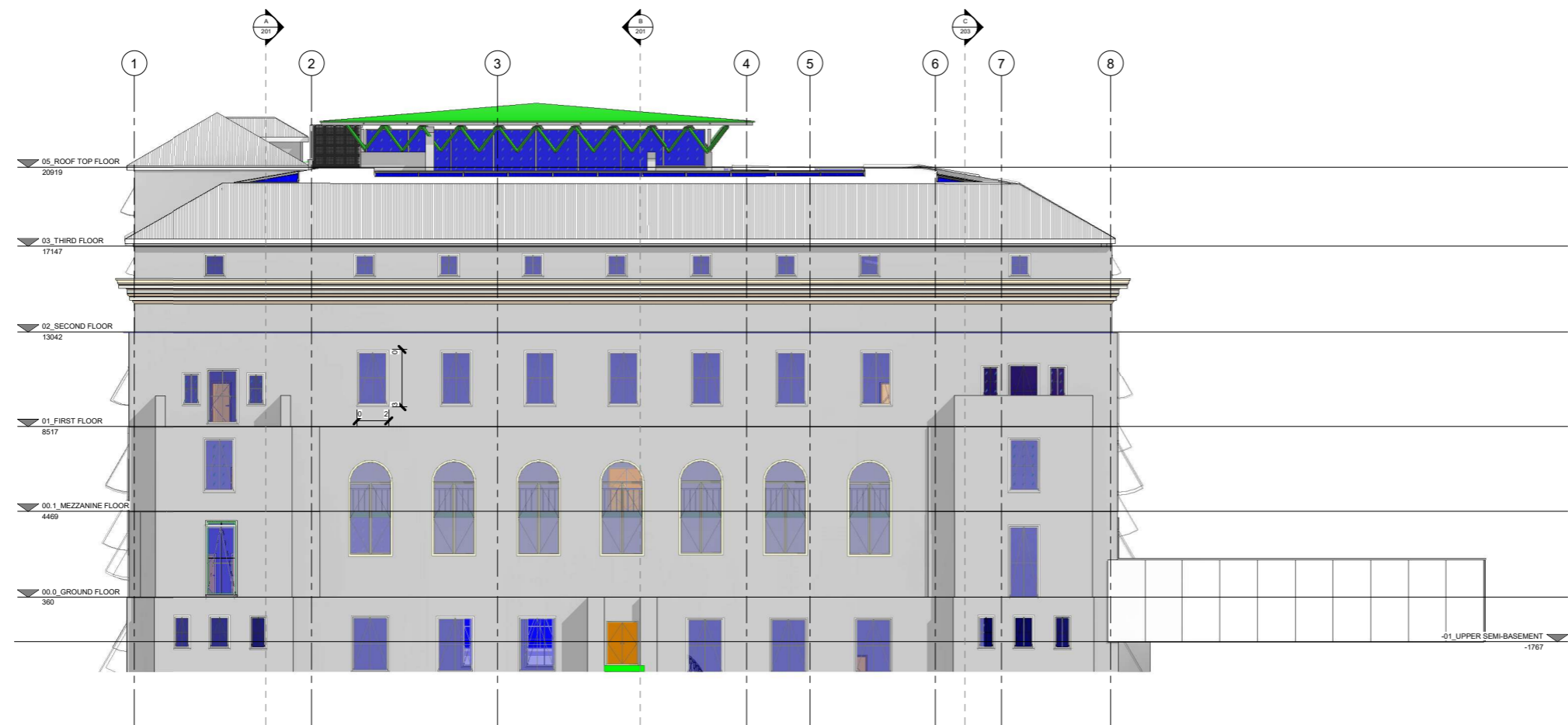
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PPA299	TENDER	301	A
Scale:	Date:	Drawn by:	Designed by/Checked by:
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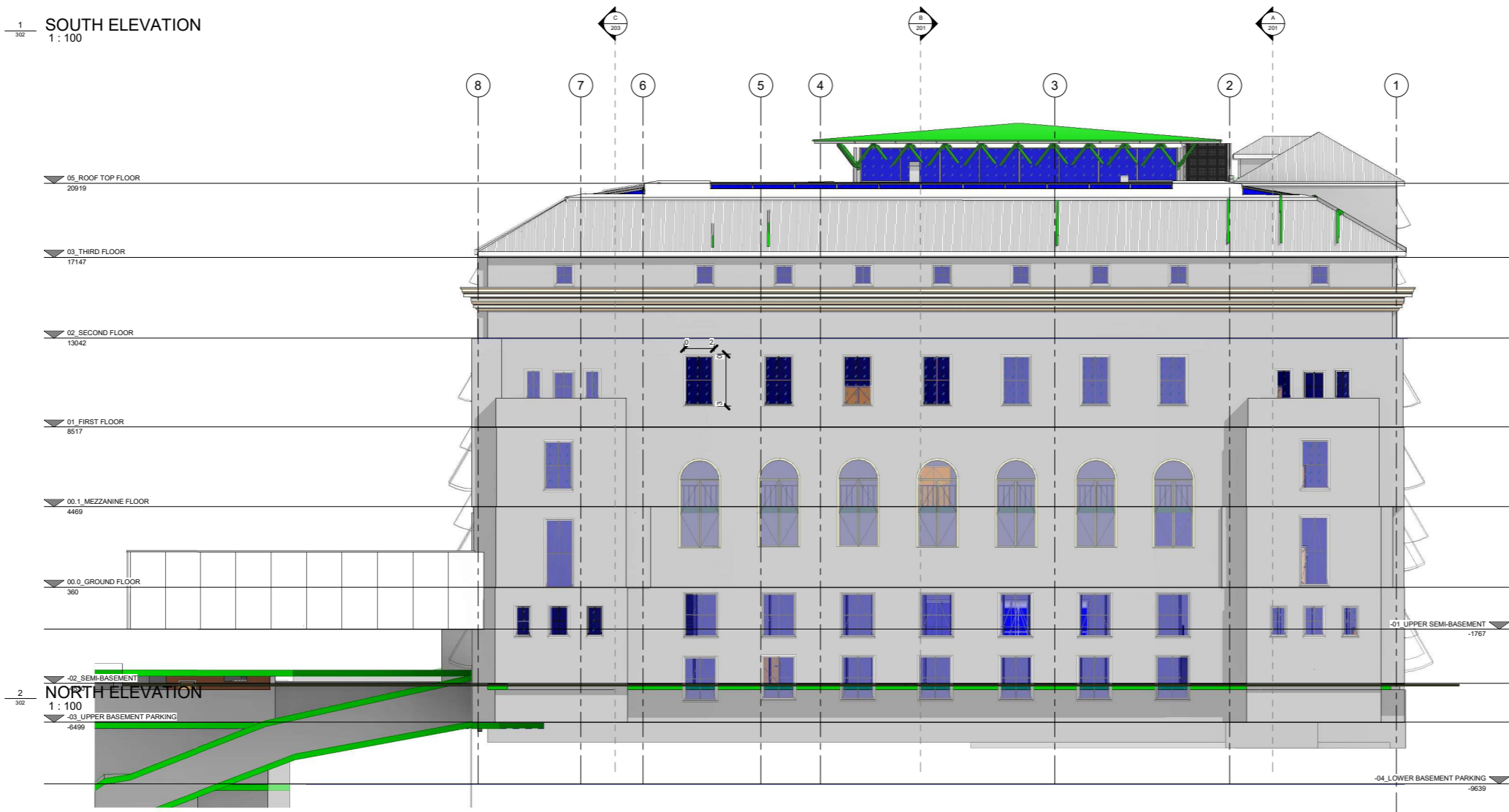
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E-mail : jhb@prositeplan.com

Responsible Architect:	Client Project No.:
Babatunde Ojo-Aromokudu; SACAP No 5803	PPA299
Client Signature:	

ISSUED FOR TENDER



1 SOUTH ELEVATION
1 : 100




2 NORTH ELEVATION
1 : 100

- GENERAL NOTES:**
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Revision Schedule				
Rev. No.	Date Issued	Issued by	Revision Description	Issued to
A	2023.06.01		ISSUED FOR TENDER	

Client:




Project Title: JCL - DESIGN DEVELOPMENT

Drawing Title: ELEVATIONS - NORTH & SOUTH

Project No.	Drawing Type	Drawing No.	Rev. No.
PPA299	TENDER	302	A

Scale	Date	Drawn by	Designed by	Checked by
1 : 100	23/09/22	LD	MKM/LD	MKM

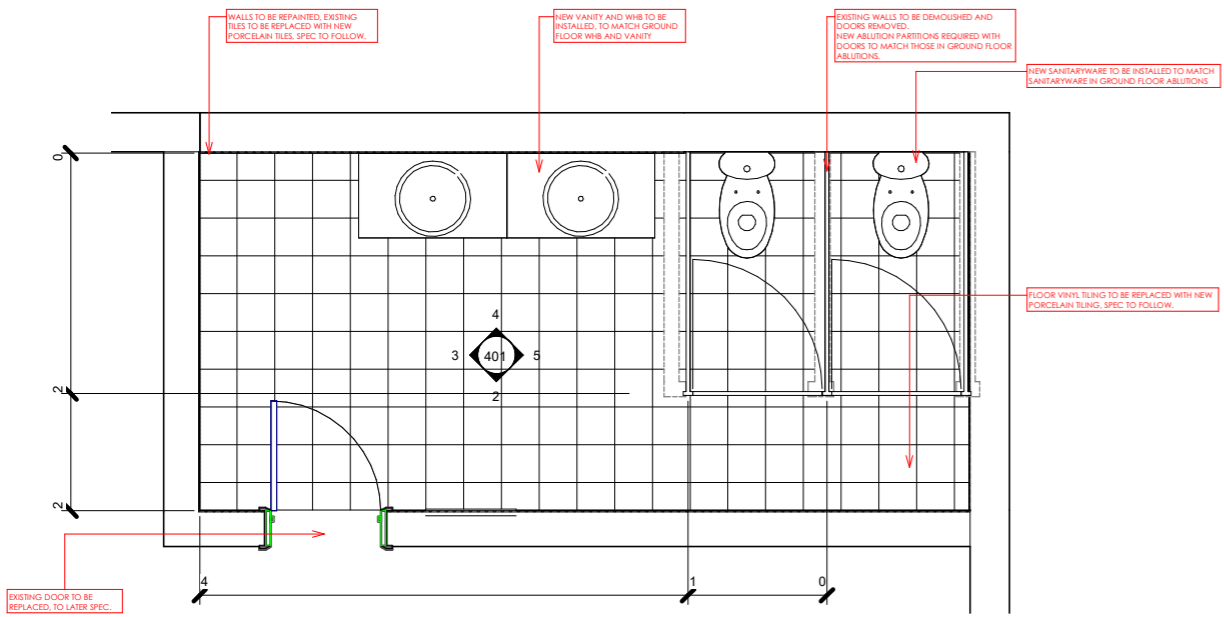


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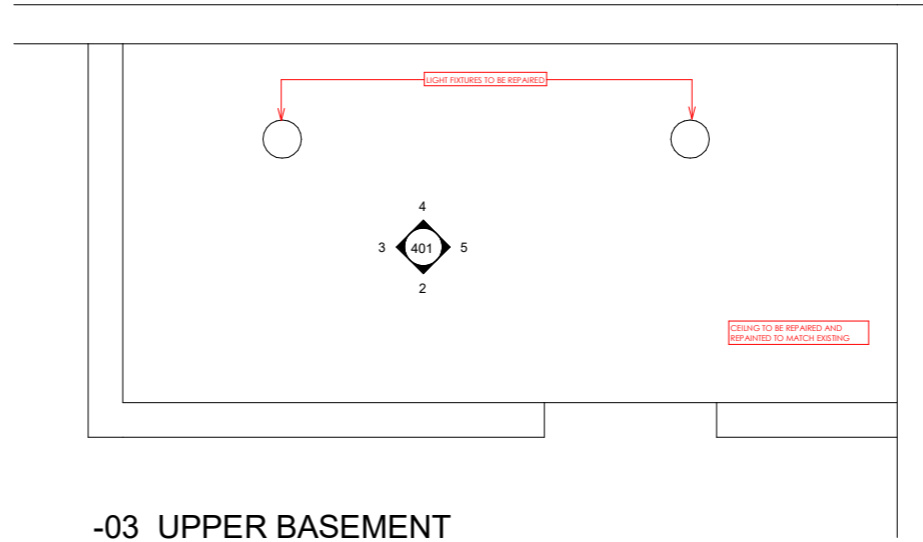
Responsible Architect:
Babatunde Ojo-Aromokudu; SACAP No 5803

Client Project No.: PPA299

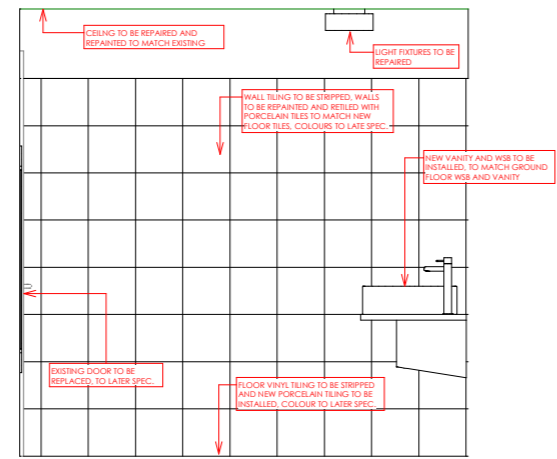
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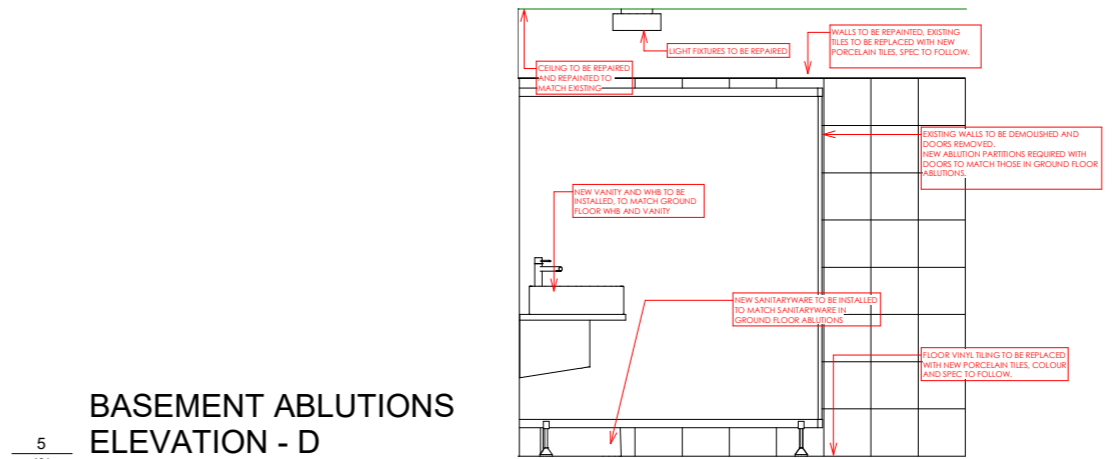
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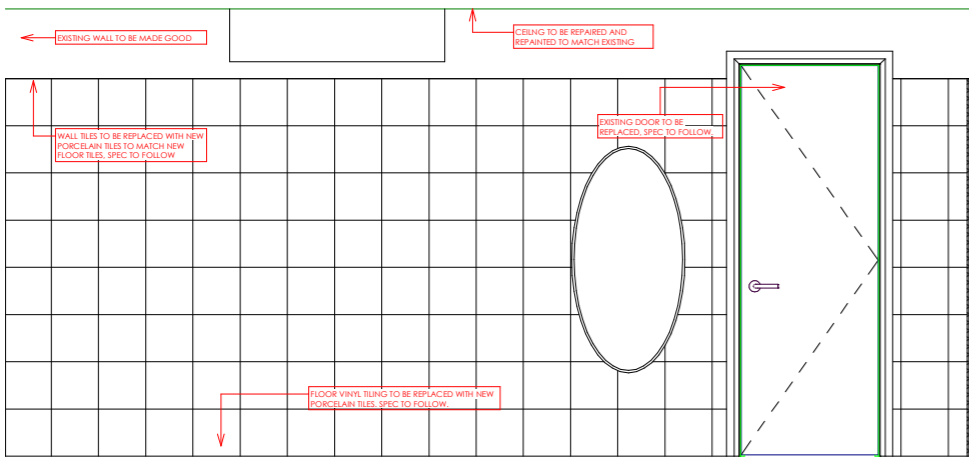
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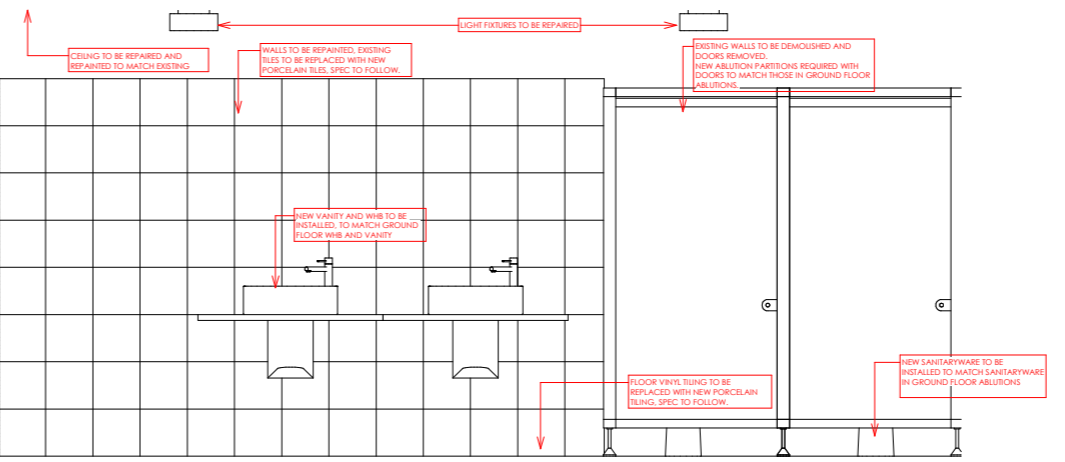
BASEMENT ABLUTIONS ELEVATION - B
1:20



BASEMENT ABLUTIONS ELEVATION - D
1:20



BASEMENT ABLUTIONS ELEVATION - A
1:20



BASEMENT ABLUTIONS ELEVATION - C
1:20

GENERAL NOTES:
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REVISION SCHEDULE			
REV	DATE	DESCRIPTION	BY
A	2023.06.01	ISSUED FOR TENDER	



PROJECT
JCL- DESIGN DEVELOPMENT
 Albertina Sisulu Rd & Pixley Ka Isaka Seme St
 Johannesburg, 2000

DRAWING NAME
RDS - ABLUTION

PROJECT NO	DRAWING TYPE	DRAWING NO	REVISION
PPA299	DAC	401	A

SCALE	Sheet Size: A1	DATE	DRAWN BY	CHECKED BY
As indicated	09/30/22	Author	Checker	

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RESPONSIBLE ARCHITECT
 Babatunde Ojo-Aromokudu; SACAP No 5803

PROJECT NUMBER PPA299 **CLIENT SIGNATURE**

ISSUED FOR DESIGN APPROVAL

